

## NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval under the Land Use Planning and Approvals Act 1993, for the following development(s):

|                     |  |
|---------------------|--|
| <b>NUMBER:</b>      | DA 79 / 2025   |
| <b>ADDRESS:</b>     | 8 Sloping Main Dr, Sloping Main (CT: 63928/4)                                |
| <b>DESCRIPTION:</b> | Residential – Construction of Dwelling Additions/Alterations (Retrospective) |

All plans and documents submitted with the application can be inspected at the Tasman Council Office, Monday to Friday from 8:30am to 4:30pm. In addition to the statutory requirements, some documents, relevant to the assessment of the application are available on the council website by following this link:

<https://tasman.tas.gov.au/advertised-applications/>, by using the QR Code below, or they are available in hard copy upon request by calling Council on (03) 6250 9200 or email [tasman@tasman.tas.gov.au](mailto:tasman@tasman.tas.gov.au) during the period for which representations may be made, until **02 October 2025**

Any person may make a representation relating to the application. Representations are to be made in writing addressed to the General Manager, Tasman Council, 1713 Main Road, Nubeena TAS 7184 or by email to [tasman@tasman.tas.gov.au](mailto:tasman@tasman.tas.gov.au) and will be received no later than **02 October 2025**. Late representations will not be considered.

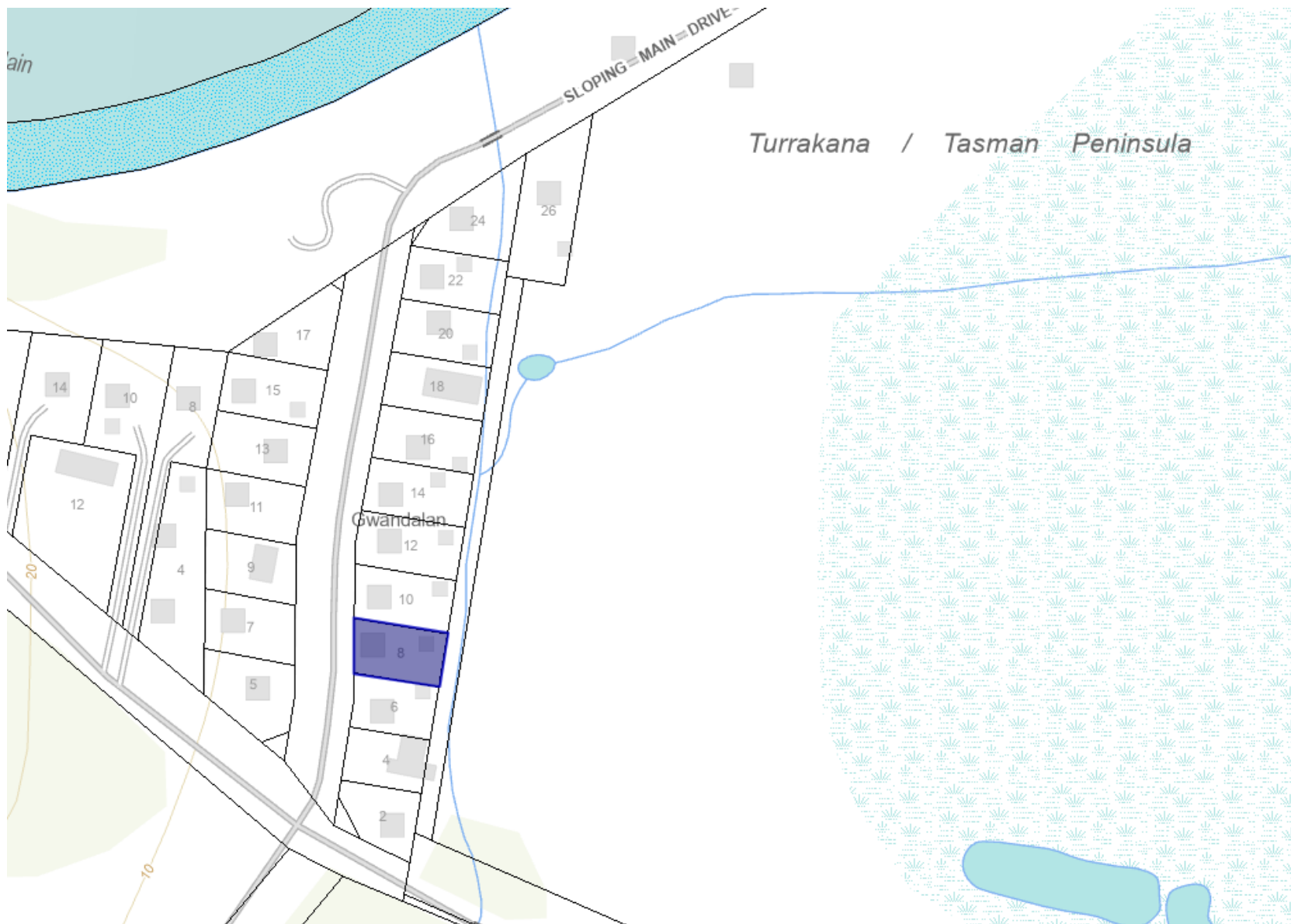


A handwritten signature in black ink, appearing to read 'Blake Repine'.

**Blake Repine**  
**General Manager**  
**Date: 19 September 2025**

DA 79 / 2025 –8 Sloping Main Dr, Sloping Main (CT 63928/4)– The relevant plans and documents can be inspected at the Council Offices at 1713 Main Road, Nubeena during normal office hours, or the plans may be viewed on Council's website at [www.tasman.tas.gov.au](http://www.tasman.tas.gov.au) until the date representations close 02 October 2025.

The below image was sourced from The List: <https://maps.thelist.tas.gov.au/listmap/app/list/map>



## Application for Planning Permit

The personal information requested on this form is being collected by council for purpose set out in the title of the form. The personal information will be used solely by council for the primary purpose or directly related purposes. The applicant understands that personal information is provided for the above mentioned function and that he/she may apply to council for access to and/or amendment of the information. If an application is made under Section 57 of the Land Use Planning and Approvals Act 1993, a copy of the lodgement documents must be made available for any person to inspect during public notification. Please note that any information, reports and plans submitted with an application are treated as public documents and may be reproduced for representors, referral authorities and any other persons/bodies interested in the proposal. Requests for access or correction should be made to Tasman Council's Customer Service Officer.

\* Indicates mandatory field

### APPLICANT DETAILS\*

|                        |            |          |  |
|------------------------|------------|----------|--|
| FULL NAME              | Roy Higman |          |  |
| POSTAL ADDRESS         |            | POSTCODE |  |
| PHONE (BUSINESS HOURS) |            | MOBILE:  |  |
| EMAIL                  |            |          |  |

NOTE: All Council correspondence will be emailed to the applicant unless otherwise specified.

### OWNERS DETAILS (IF DIFFERENT TO APPLICANT DETAILS)\*

ENSURE OWNER DETAILS MATCH THE CURRENT CERTIFICATE OF TITLE

|                        |  |          |   |
|------------------------|--|----------|---|
| FULL NAME              |  |          |   |
| POSTAL ADDRESS         |  | POSTCODE |   |
| PHONE (BUSINESS HOURS) |  | MOBILE   | ( |

### DESCRIPTION OF PROPOSED DEVELOPMENT\*

|   |   |
|---|---|
| <input type="checkbox"/> New Dwelling                     | <input checked="" type="checkbox"/> Extension/ Addition |
| <input type="checkbox"/> New Shed/ Outbuilding            | <input type="checkbox"/> Demolition                     |
| <input type="checkbox"/> Subdivision/ Boundary Adjustment | <input type="checkbox"/> Visitor Accommodation          |
| <input type="checkbox"/> Change of Use                    | <input type="checkbox"/> Other (please specify – right) |
| <input type="checkbox"/> Commercial/ Industrial Building  |   |

|   |   |
|---|---|
| Are any of the components in this application seeking retrospective approval?*  | <input checked="" type="checkbox"/> Yes |
| E.g. Use and/or development that has commenced without a planning permit.<br>(If yes, please specify the relevant components) | <input type="checkbox"/> No             |

Previous DA was given for a extension. However the previous owner build differently to the approved drawings and we therefore need retrospective approval.

|                                   |
|-----------------------------------|
| PRESENT USE OF LAND/ BUILDING(S)* |
| Residential                       |

**LOCATION OF PROPOSED DEVELOPMENT\***


|                                       |                                    |            |   |
|---------------------------------------|------------------------------------|------------|---|
| ADDRESS                               | 8 Sloping Main Drive, Sloping Main |            |   |
| CERTIFICATE OF TITLE:<br>FOLIO NUMBER | 63928                              | LOT NUMBER | 4 |

|                                      |    |                                      |      |
|--------------------------------------|----|--------------------------------------|------|
| <b>FLOOR AREA*</b>                   |    |                                      |      |
| Existing floor area (square metres): | 65 | Proposed floor area (square metres): | 83.2 |
| <b>CAR PARKING*</b>                  |    |                                      |      |
| Number existing                      | 2  | Number proposed                      | 2    |


|   |  |
|---|--|
| <b>SITE CONTAMINATION*</b>  |  |
| Have any potentially contaminating uses been undertaken on this site?<br>(Refer to list provided on page 5) | <input type="checkbox"/> Yes<br><input checked="" type="checkbox"/> No |
| <b>TASMANIAN HERITAGE OR ABORIGINAL HERITAGE REGISTER*</b>  |  |
| Is this property on the Tasmanian Heritage or Aboriginal Heritage Register?                                 | <input type="checkbox"/> Yes<br><input checked="" type="checkbox"/> No |
| <b>VEGETATION REMOVAL*</b>  |  |
| Does the proposal require any vegetation removal? If yes, provide details on the site plan.                 | <input type="checkbox"/> Yes<br><input checked="" type="checkbox"/> No |
| <b>VALUE*</b>   |  |
| Value of work (inc. GST)  | \$ 30,000  |

**\*Please complete both declarations if you are making the application but not the owner\***

**DECLARATION BY APPLICANT\***

|  |   |
|--|---|
| I/ we declare that the information given is a true and accurate representation of the proposed development; and<br>I/ we am/ are liable for the payment of Council application processing fees, even in the event of the development not proceeding; and<br>I/ we authorise Tasman Council to provide a copy of my documents relating to this application to any person for the purpose of assessment and public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained. |   |
| SIGNATURE OF APPLICANT   |  |
| NAME OF APPLICANT (PLEASE PRINT)   | Roy Higman  |
| DATE   | 01/09/2025  |

**DECLARATION IF APPLICANT IS NOT THE OWNER**

|   |   |
|---|---|
| I hereby declare that I am the applicant for the development at the address detailed in this application for a planning permit, and that I have notified the owner/s of the land for which I am making this application, in accordance with Section 52(1a) of the <i>Land Use Planning and Approvals Act 1993</i> . |   |
| SIGNATURE OF APPLICANT  |  |
| NAME OF APPLICANT (PLEASE PRINT)  | Roy Higman  |
| DATE  | 01/09/2025  |
| NAME/S OF OWNER/S NOTIFIED  |   |
| DATE  | 01/08/2025  |

## DECLARATION IF LAND IS COUNCIL OR CROWN LAND

|   |  |
|---|--|
| If the land that is the subject of this application is owned or administered by either the Crown or Tasman Council, the consent of the Minister of the Crown or the General Manager of the Council, whichever is applicable, must be included here. This consent should be completed and signed by either the Minister, the General Manager of Tasman Council, or their delegate (as specified in Subsections 52(1d-1g) of the <i>Land Use Planning and Approvals Act 1993</i> ). |  |
| <b>DECLARATION</b>  | <p>I, _____</p> <p>being responsible for the administration of land at _____</p> <p>declare that I have given permission for the making of this application.</p> |
| <b>SIGNATURE OF MINISTER/<br/>GENERAL MANAGER</b>   |  |
| <b>DATE</b>   |  |

## NON-RESIDENTIAL DEVELOPMENTS

Note: This section must be completed for all applications for non-residential uses, home occupations and domestic/ residential businesses or other managed/ commercial residential uses (e.g. hostel or motel).

|   |  |  |   |
|---|--|--|---|
| <b>HOURS OF BUSINESS</b>  |  |  |   |
| CURRENT   |  | PROPOSED   |   |
| Monday to Friday  |  | Monday to Friday   |   |
| Saturday  |  | Saturday   |   |
| Sunday  |  | Sunday   |   |
| <b>NUMBER OF EMPLOYEES</b>  |  |  |   |
| CURRENT   |  | PROPOSED   |   |
| Total Employees   |  | Total Employees  |   |
| Employees on Site   |  | Employees on Site  |   |
| <b>PLANT/ MACHINERY</b>   |  |  |   |
| Is there any large plant or machinery that would need to be installed or used on site such as refrigeration units and generators? (If yes, please list below the type of machinery and ensure location, dimensions etc are clearly marked on your plans.) |  |  | <input type="checkbox"/> Yes<br><input type="checkbox"/> No |
|   |  |  |   |
|   |  |  |   |
|   |  |  |   |
| <b>OUTDOOR STORAGE/ SEATING/ NUMBER OF BEDS</b>   |  |  |   |
| Is outdoor storage proposed?<br>(If yes, please ensure that your plans show where the outdoor storage areas are and what type of goods are stored. This information will help us assess the impact of the proposal on the amenity.)                       |  |  | <input type="checkbox"/> Yes<br><input type="checkbox"/> No |
| If you are proposing a night club, café or the like, what is the number of seats proposed including the capacity at any bar area?   |  | Please ensure that the arrangements are shown on your plans. This information enables us to assess the car parking arrangements. |   |
| If you are proposing a hotel, motel, visitor accommodation, hostel or the like, what is the number of beds proposed?  |  | Please ensure the beds are clearly indicated on your plans. This information enables us to assess the car parking arrangements.  |   |
| <b>GOODS DELIVERIES</b>   |  |  |   |
| Will there be any goods deliveries to and from the site?<br>(If yes, please estimate the number and type of vehicles and how often they will make trips.)   |  |  | <input type="checkbox"/> Yes<br><input type="checkbox"/> No |
| Type and Size of Vehicle  |  | Number of Vehicles on Site   |   |
| Trip Frequency per Month  |  |  |   |

## PLANNING PERMIT – APPLICATION CHECKLIST – MANDATORY

To ensure that we can process your application as quickly as possible, please read the following checklist carefully to ensure that you have provided the following at the time of lodging the application.

If you are unclear on any aspect of your application, please phone **(03) 6250 9200** to discuss or arrange an appointment concerning your proposal. Note that, in accordance with Section 54 of the *Land Use Planning and Approvals Act 1993*, Council may require additional information.

**Please note that the following information is required by Clause 6.1 of the State Planning Provisions. An application will not be considered to be a valid application and will not be processed without the required information as detailed below.**

Please complete the below checklist

☒ **Completed Application Form - Required**

All sections filled out correctly and owner details match those listed on the title documents  
Application form includes a detailed cost estimate of the proposal

☐ **Written Submission - Required**

Description of the proposed development  
Justification addressing the Performance Criteria (if applicable)

☒ **Title Documents - Required**

Current copy of the Certificate of Title (Folio Plan and Text Page)  
Copies of any restrictive covenants, easements, or other relevant documents.

☒ **Site Plan - Required**

Drawn to scale  
Shows the location of the proposed development including setback distances from boundaries  
Includes existing structures, property boundaries, access points, driveways, parking areas, rainwater tanks and any natural features (vegetation and waterways)

☒ **Floor Plan and Elevations - Required**

Detailed floor plans of the proposed development  
Elevations showing the height and external appearance

☒ **Stormwater and Servicing Plan - Required**

Details on how stormwater will be managed on-site  
Information about connections to utilities (water, sewer, electricity)  
Elevations showing the height and external appearance of all water tanks

☐ **Landscaping Plan - if applicable**

Details of existing vegetation to be retained or removed

☐ **Supporting Reports and Assessments - if applicable**

Bushfire Hazard Management Plan and Report  
Traffic Impact Assessment  
Natural Values Assessment  
Onsite Wastewater Assessment

Dated: 01/09/2025

Signed:



Please note the following:

Application fees will be invoiced upon initial assessment, this is within 4 business days of submission.  
If this application results in building works occurring on the property, applicant and/or owner information including name and contact details will be provided to the Office of the Valuer General for the purpose of undertaking a valuation inspection of the property / building works.

| POTENTIALLY CONTAMINATING ACTIVITIES      |   |
|---|---|
| Agricultural Fertiliser Manufacture       | Metal Founders  |
| Asbestos Production and Manufacture       | Metal Sprayers  |
| Battery Manufacture and Recycling         | Metal Treatments and Picklers   |
| Chemical Manufacture or Formation         | Mining and Extractive Industries  |
| Defence Establishments and Training Areas | Pest Controllers (being areas where pest control chemicals are stored or vehicles and tanks used in connection with pest control are washed.) |
| Drum Reconditioning Wastes                | Petroleum and Petrochemical Industries  |
| Dry Cleaning Establishments               | Pharmaceutical Manufacture or Formation   |
| Electroplating                            | Printers  |
| Explosives Production and Storage         | Railway Yards   |
| Fuel Depots and Storage Areas             | Sanitary and Refining   |
| Galvanisers                               | Scrap Yards   |
| Gas Works                                 | Service Stations  |
| Gun, Pistol and Rifle Clubs               | Smelting and Refining   |
| Hazardous Waste Landfills                 | Tannery or Fellmongery or Hide Curing Works   |
| Industrial Cleaners                       | Wood Treatment and Preservation Sites   |
| Lime Burners                              |   |

## SEARCH OF TORRENS TITLE

|                 |                              |
|-----------------|------------------------------|
| VOLUME<br>63928 | FOLIO<br>4                   |
| EDITION<br>9    | DATE OF ISSUE<br>28-May-2025 |

SEARCH DATE : 16-Aug-2025

SEARCH TIME : 11.24 AM

DESCRIPTION OF LAND

Parish of TOGANEE, Land District of PEMBROKE  
Lot 4 on Plan 63928 (formerly being P1462)  
Derivation : Part of Lot 30631 Gtd. to  
Prior CT 3415/18

SCHEDULE 1

N250408 TRANSFER to

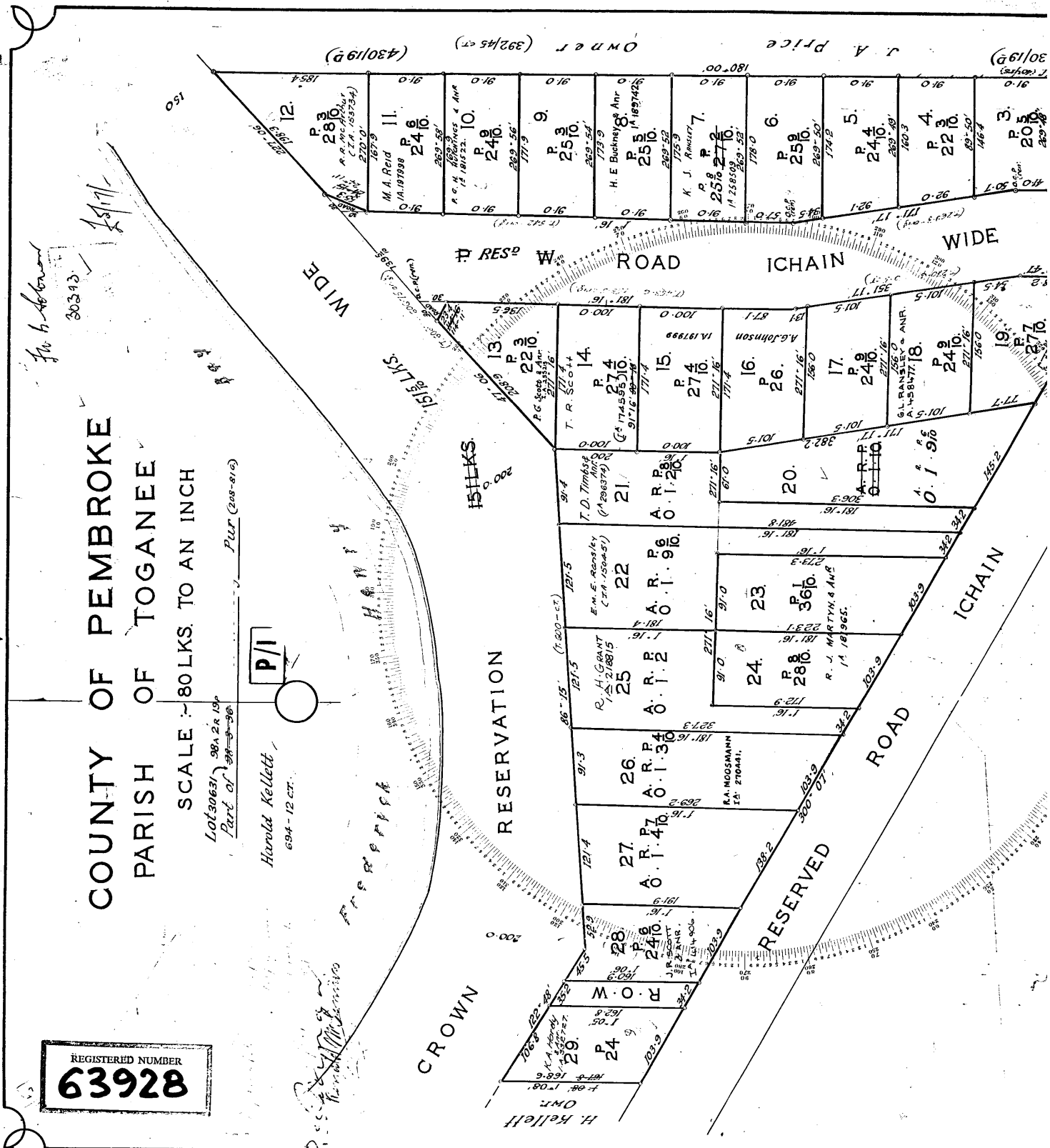
Registered 28-May-2025 at 12.01 PM

SCHEDULE 2

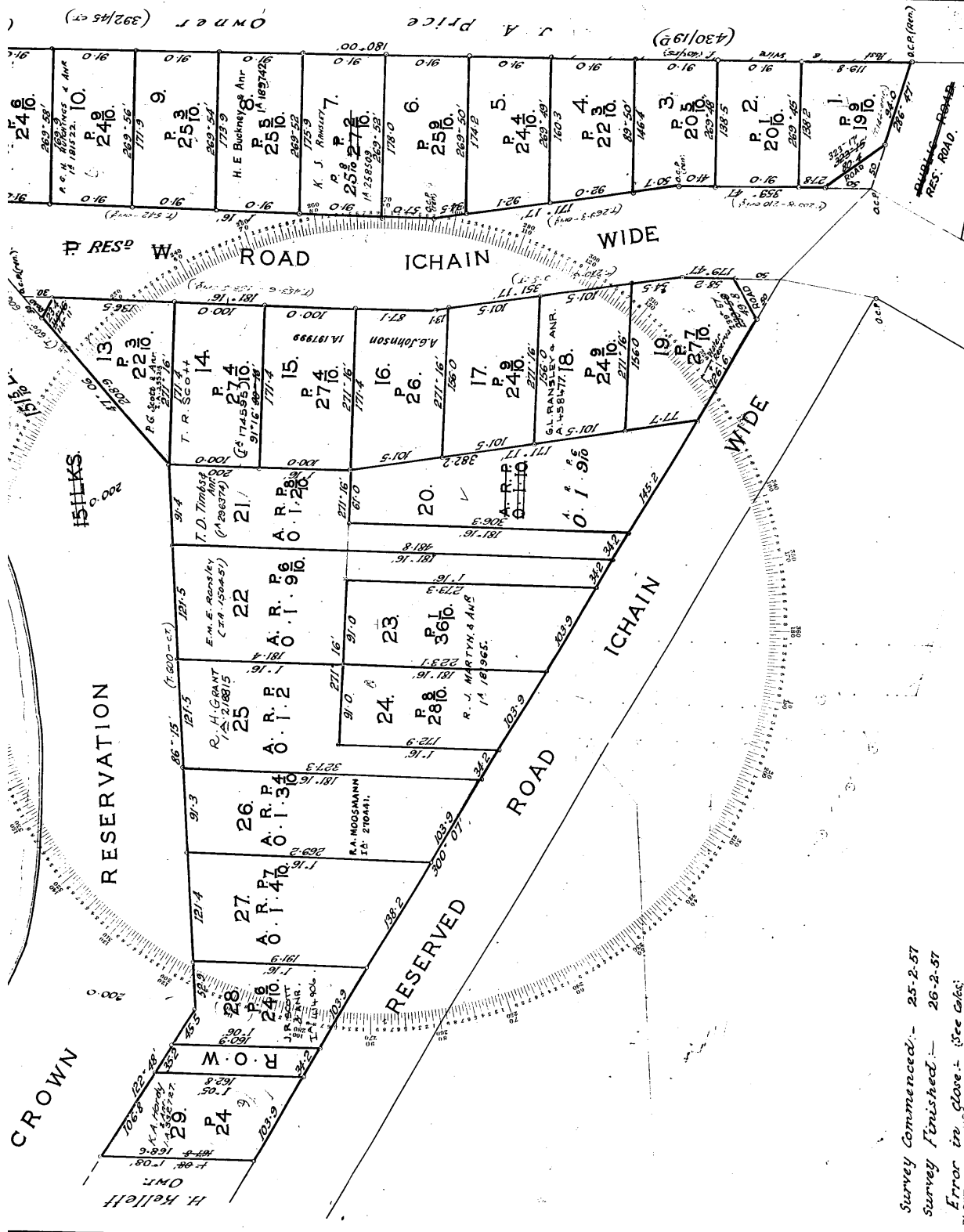
Reservations and conditions in the Crown Grant if any  
E412647 MORTGAGE to Commonwealth Bank of Australia  
Registered 28-May-2025 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



1462



I Eric Barrie Valentine, of Sandy Bay, Registered Surveyor, of Tasmania, do hereby certify that this plan has been made from surveys executed by me or under my own personal supervision, inspection and check, and that both plan and survey are correct, and have been made in accordance with the Land Surveyors By-Law No. 2 dated 3rd July, 1948.

*Eric Barrie Valentine*  
AUTHORISED SURVEYOR  
Took this 30<sup>th</sup> day of February 1957

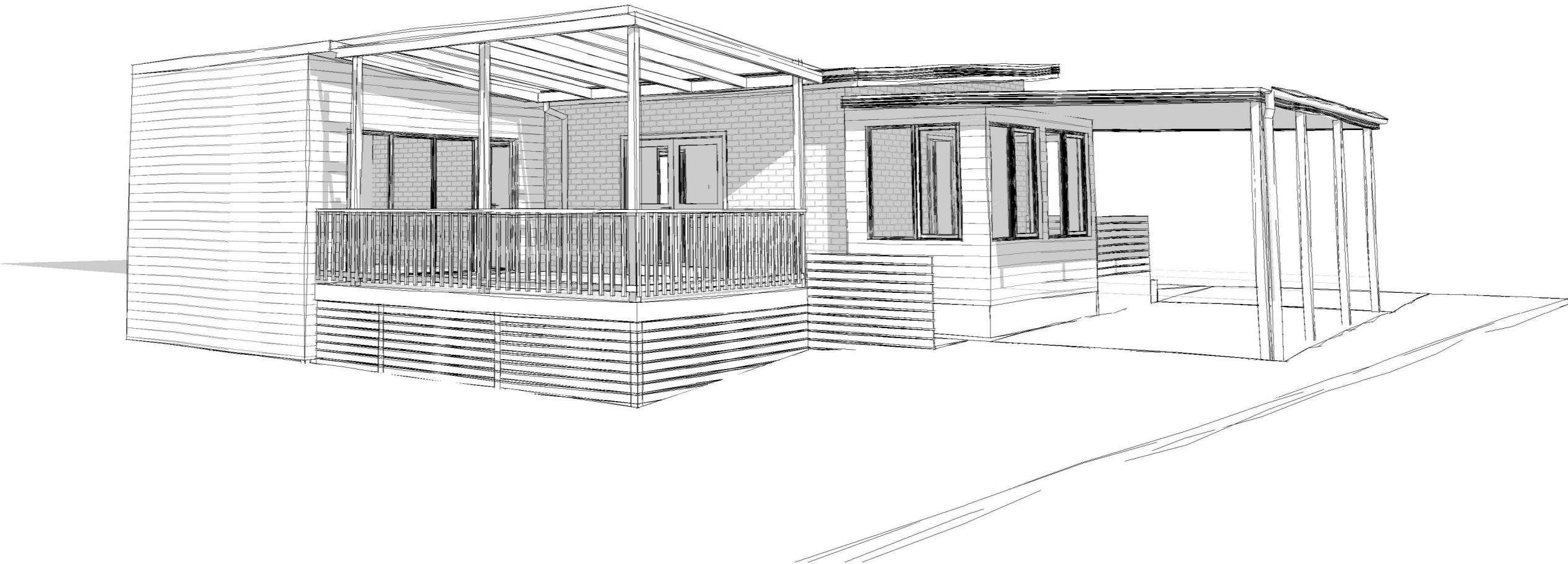
REGISTERED NUMBER  
**63928**

Survey Commenced:- 25-2-57  
Survey Finished:- 26-2-57  
Error in Close:- (See Calc)  
PLOTTED BY: *W. J. J.*  
MATHEMATICALLY CHECKED: *W. J. J.*  
EXAMINED AS TO BOUNDARIES: *W. J. J.*  
ENTERED ON CARD BY: *W. J. J.*

# RETROSPECTIVE

## 8 SLOPING MAIN DRIVE, TAS 7186

REVISION 1



### ARCHITECTURAL

|       |                      |       |                     |
|-------|----------------------|-------|---------------------|
| DA-00 | FRONT COVER SHEET    | DA-04 | ROOF PLAN           |
| DA-01 | LOCATION PLAN        | DA-05 | PROPOSED ELEVATIONS |
| DA-02 | SITE PLAN            | DA-06 | SECTIONS            |
| DA-03 | PROPOSED FLOOR PLANS | DA-07 | SITE PHOTOGRAPHS    |

rharchitecture

a: PO BOX 306, NEW NORFOLK, TASMANIA 7140  
m: 0448 866 391 e: roy@rharchitecture.com.au  
CBOS LIC. NO.: 132955139

DEVELOPMENT APPROVAL



8 SLOPING MAIN DRIVE  
CT63928/4  
564.0 m<sup>2</sup>

LOCATION PLAN



AERIAL PLAN

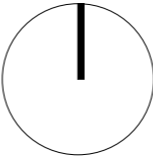
rharchitecture

a: PO BOX 306, NEW NORFOLK, TASMANIA 7140  
m: 0448 866 391 e: roy@rharchitecture.com.au  
CBOS LIC. NO.: 132955139

|     |          |                |
|-----|----------|----------------|
| 1   | 01/09/25 | DA APPLICATION |
| REV | DATE     | DETAILS        |

© Copyright  
These drawings and designs and the copyright thereof are the property of RH Architecture and must not be used, retained or copied without the written permission of RH Architecture. Dimensions take precedence over scaling, do not measure off drawings as print sizes may vary.

RH  
INIT.



Client/ Project Name  
RETROSPECTIVE  
APPROVAL  
Project Address  
8 SLOPING MAIN DRIVE,  
SLOPING MAIN, TAS 7186.

drawn  
RH  
checked  
RH  
date  
08/25  
scale  
1 : 500

sheet  
LOCATION PLAN  
25-063  
project no.

DA-01  
sheet no.

1  
revision:

| SITE INFORMATION:   |                 |
|---------------------|-----------------|
| Title Reference:    | CT63928/4       |
| Wind Classification | N3 (ASSUMED)    |
| Soil Classification | M (ASSUMED)     |
| Climate Zone        | 7               |
| BAL Level           | n/a             |
| Alpine Area         | n/a             |
| Corrosion Env.      | n/a             |
| Planning Zone:      | Low Density     |
| Planning Overlay:   | Bush-fire Prone |

| AREA SCHEDULE:                      |                      |
|-------------------------------------|----------------------|
| Site Area:                          | 564.0 m <sup>2</sup> |
| Existing House:                     | 65.0 m <sup>2</sup>  |
| Proposed Extension (RETROSPECTIVE): | 18.2 m <sup>2</sup>  |
| Existing Sheds:                     | 36.6 m <sup>2</sup>  |
|                                     |                      |
|                                     |                      |
|                                     |                      |

DEVELOPMENT APPROVAL - NOT FOR CONSTRUCTION

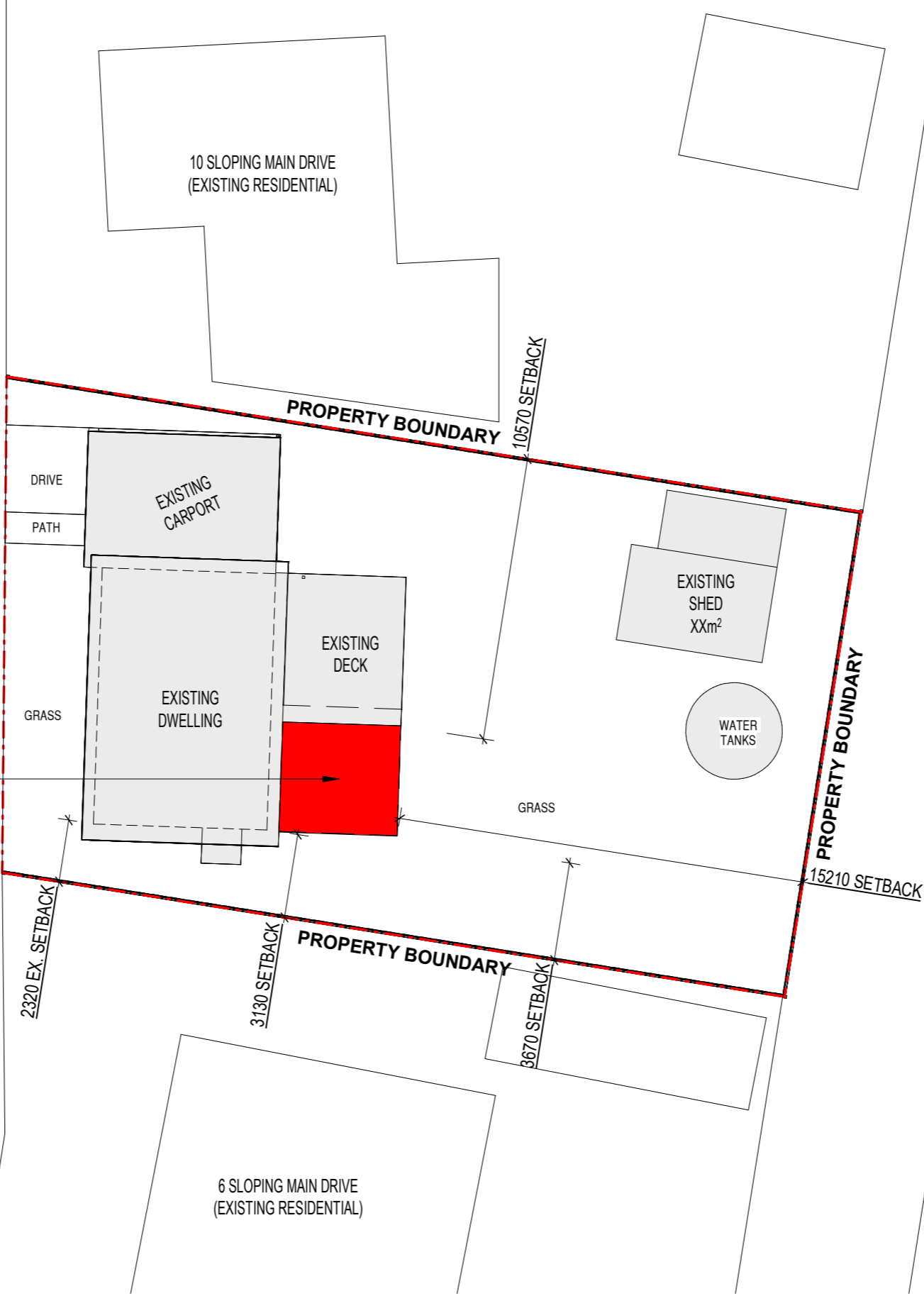
SITE DRAINAGE

SITE DRAINAGE SHALL BE IN ACCORDANCE WITH THE NCC AND AS 2870 REQUIREMENTS. ALL DRAINAGE SHALL BE DESIGNED AND CONSTRUCTED TO AVOID PONDING AGAINST OR NEAR FOOTINGS.

THE GROUND IN THE IMMEDIATE VICINITY OR THE PERIMETER FOOTINGS INCLUDING GROUND UPHILL FROM THE SLAB ON CUT AND FILL SITES, SHALL BE GRADED TO A FALL OF 5% AWAY FROM THE FOOTING OVER A MINIMUM DISTANCE OF 1000MM. SUB-SOIL DRAINAGE SYSTEMS INSTALLED FOR THE PURPOSE OF DIVERTING SEEPAGE AWAY FROM THE DWELLING SHALL BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS.

SLOPING MAIN DRIVE

PROPOSED EXTENSION  
(RETROSPECTIVE AS BUILT  
DIFFERENTLY TO APPROVED DA).



DEVELOPMENT APPROVAL - NOT FOR CONSTRUCTION

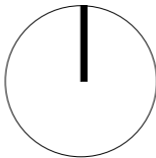
rharchitecture

a: PO BOX 306, NEW NORFOLK, TASMANIA 7140  
m: 0448 866 391 e: roy@rharchitecture.com.au  
CBOS LIC. NO.: 132955139

|     |          |                |
|-----|----------|----------------|
| 1   | 01/09/25 | DA APPLICATION |
| REV | DATE     | DETAILS        |

© Copyright  
These drawings and designs and the copyright thereof are the property of RH Architecture and must not be used, retained or copied without the written permission of RH Architecture. Dimensions take precedence over scaling, do not measure off drawings as print sizes may vary.

RH  
INIT.



Client/ Project Name

RETROSPECTIVE  
APPROVAL  
Project Address  
8 SLOPING MAIN DRIVE,  
SLOPING MAIN, TAS 7186.

drawn  
RH  
checked  
RH  
date  
08/25  
scale  
As  
indicated

sheet  
SITE PLAN

25-063  
project no.

DA-02  
sheet no.

1  
revision:

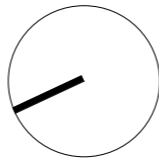
1/09/2025 7:34:08 AM

E:\2025 Projects\25-063 - Retro\Revit\25-063 DA - Retro.rvt

| REV | DATE     | DETAILS        |
|-----|----------|----------------|
| 1   | 01/09/25 | DA APPLICATION |

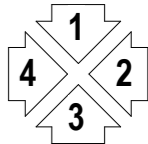
© Copyright  
These drawings and designs and the copyright thereof are the property of RH Architecture and must not be used, retained or copied without the written permission of RH Architecture. Dimensions take precedence over scaling, do not measure off drawings as print sizes may vary.

RH  
INIT.

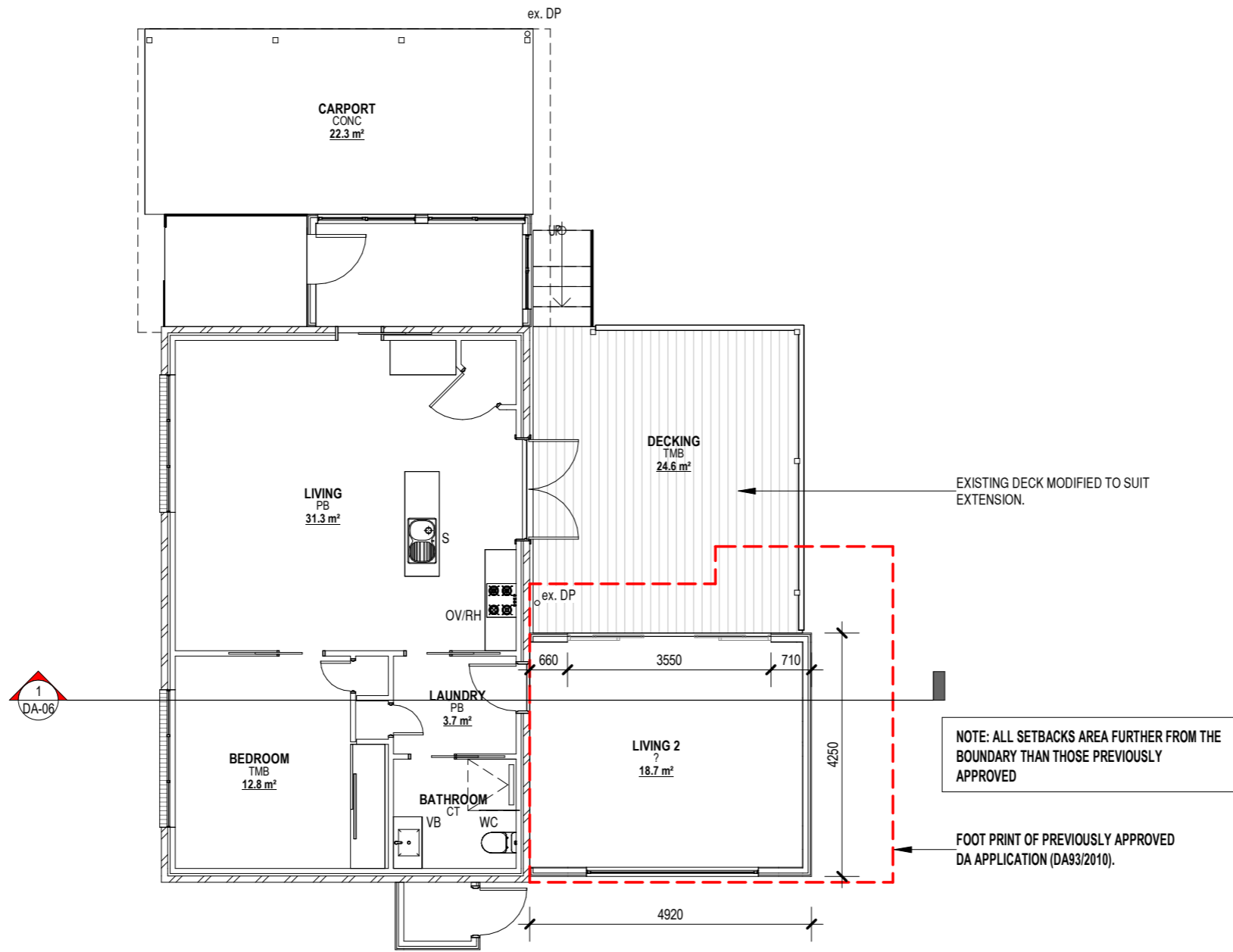


Client/ Project Name  
**RETROSPECTIVE**  
**APPROVAL**  
Project Address  
**8 SLOPING MAIN DRIVE,**  
**SLOPING MAIN, TAS 7186.**

drawn RH  
checked RH  
date 08/25  
scale As indicated  
sheet  
**PROPOSED FLOOR PLANS**  
**25-063**  
project no:  
**DA-03**  
sheet no.  
**1**  
revision:



**ELEVATION KEY**



1  
DA-03  
**PROPOSED GROUND FLOOR PLAN**  
1 : 100

## LEGEND

### FLOOR FINISHES

|      |   |                     |
|------|---|---------------------|
| CT   | - | CERAMIC TILING      |
| TMB  | - | LAMINATE TIMBER     |
| CONC | - | CONCRETE (EXISTING) |

### FIXTURES & FITTINGS

|       |   |                        |
|-------|---|------------------------|
| REF   | - | REFRIGERATOR           |
| RH    | - | RANGE HOOD             |
| OV    | - | COOKER/ OVEN           |
| WH    | - | WOOD HEATER            |
| VB    | - | VANITY BASIN           |
| BH    | - | BATH                   |
| SH    | - | SHOWER                 |
| GS    | - | TOUGHENED GLASS SCREEN |
| WC    | - | TOILET                 |
| ex.DP | - | EXISTING DOWNPIPE      |

## INSULATION SCHEDULE

**NOTES:**  
CLEARANCE MUST BE PROVIDED FOR UNCOMPRESSED INSTALLATION OF BULK INSULATION.

R-VALUES WHERE NOTED FOR BULK INSULATION (BATTS) ARE TAKEN FROM BRADFORD INSULATION TABLES

### ROOF AREA

CEILING - 215mm Bulk insulation (or equivalent) **R4.1**

### WALL AREA

WALL - 90mm Bulk insulation (or equivalent) **R2.5**

### FLOOR AREA

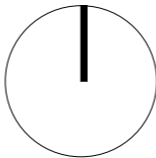
FLOOR - CONCRETE SLAB

DEVELOPMENT APPROVAL - NOT FOR CONSTRUCTION

| 1   | 01/09/25 | DA APPLICATION |
|-----|----------|----------------|
| REV | DATE     | DETAILS        |

© Copyright  
These drawings and designs and the copyright thereof are the property of RH Architecture and must not be used, retained or copied without the written permission of RH Architecture. Dimensions take precedence over scaling, do not measure off drawings as print sizes may vary.

RH  
INIT.



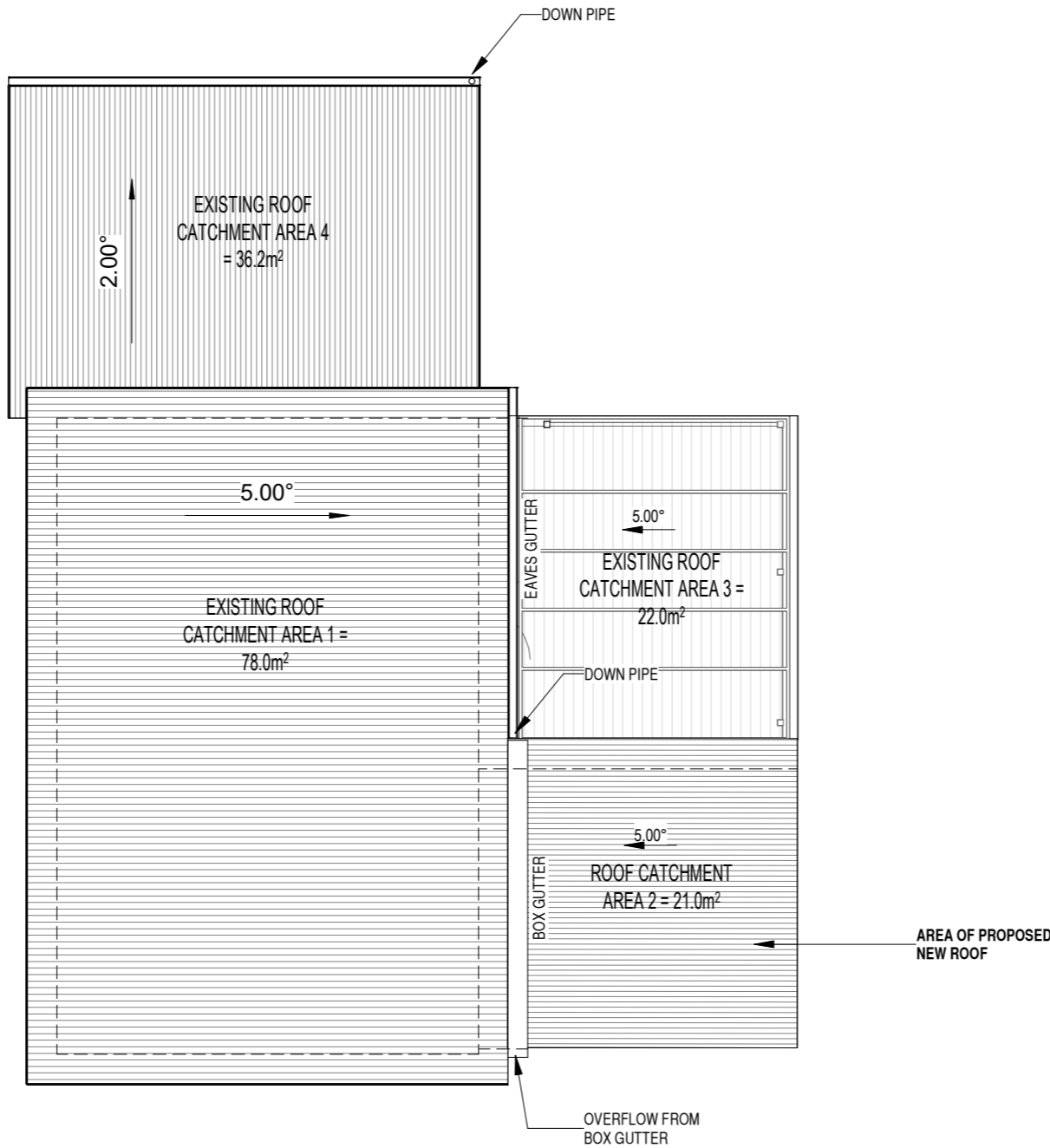
Client/ Project Name  
; RETROSPECTIVE  
APPROVAL  
Project Address  
8 SLOPING MAIN DRIVE,  
SLOPING MAIN, TAS 7186.

drawn  
RH  
checked  
RH  
date  
08/25  
scale  
1 : 100

sheet  
ROOF PLAN  
25-063  
project no:

DA-04  
sheet no.

1  
revision:



EXTERNAL FINISHES

- ALW

-

ALUMINIUM GLAZED WINDOWS/ DOORS WITH POWDER COAT FINISH
- EC01

-

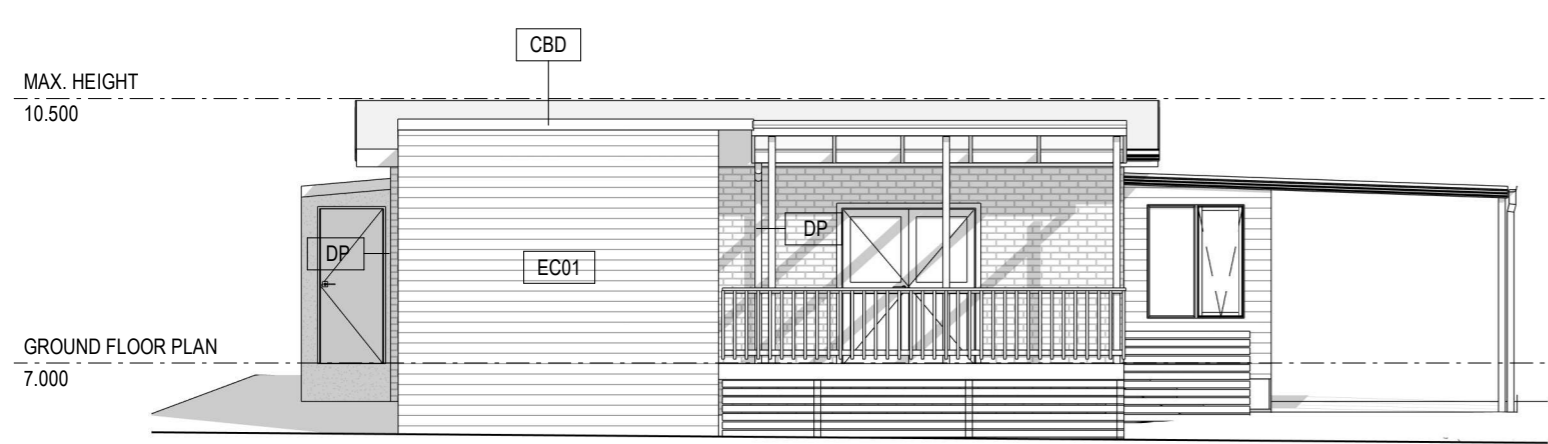
EXTERNAL CLADDING TYPE 1 - TIMBER WEATHERBOARDS ON PROPRIETORY 70x19mm CAVITY BATTENS OVER WALL MEMBRANE, FLASHING TO JUNCTIONS, ABUTMENTS AND INTERFACES TO BE COLOUR MATCHED.
- DP

-

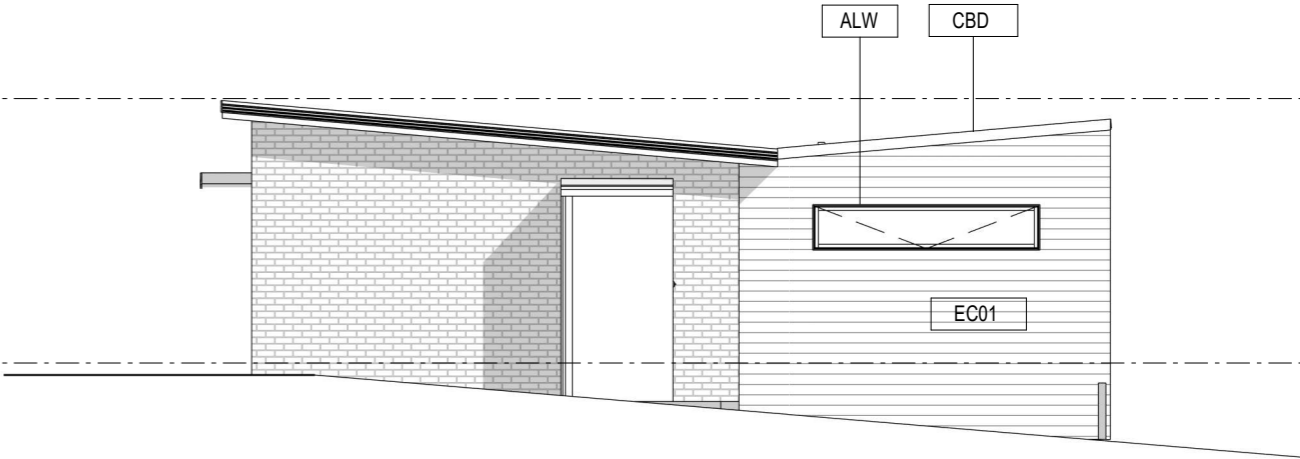
uPVC DOWNPIPE WITH PAINT FINISH TO MATCH EXTERNAL WALL, DOWN PIPES TO BE CONNECTED INTO STORMWATER TANKS
- CBD

-

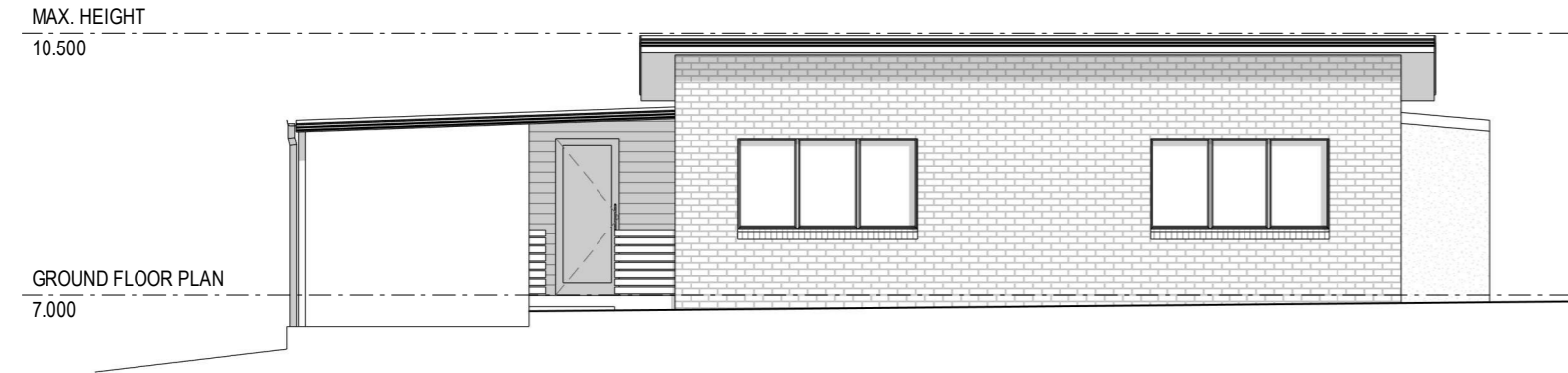
CUSTOM-ORB ROOF SHEETING , ON METAL PURLINS OVER ROOF MEMBRANE, ALLOW FOR FLASHING,



1 NORTH EAST ELEVATION  
DA-05 1 : 100



2 SOUTH EAST ELEVATION  
DA-05 1 : 100



3 SOUTH WEST ELEVATION  
DA-05 1 : 100



4 NORTH WEST ELEVATION  
DA-05 1 : 100

rharchitecture

a: PO BOX 306, NEW NORFOLK, TASMANIA 7140  
m: 0448 866 391 e: roy@rharchitecture.com.au  
CBOS LIC. NO.: 132955139

|     |          |                |
|-----|----------|----------------|
| 1   | 01/09/25 | DA APPLICATION |
| REV | DATE     | DETAILS        |

© Copyright  
These drawings and designs and the copyright thereof are the property of RH Architecture and must not be used, retained or copied without the written permission of RH Architecture. Dimensions take precedence over scaling, do not measure off drawings as print sizes may vary.

RH  
INIT.

Client/ Project Name

RETROSPECTIVE  
APPROVAL  
Project Address  
8 SLOPING MAIN DRIVE,  
SLOPING MAIN, TAS 7186.

drawn  
RH  
checked  
RH  
date  
08/25  
scale  
As  
indicated

sheet  
PROPOSED ELEVATIONS

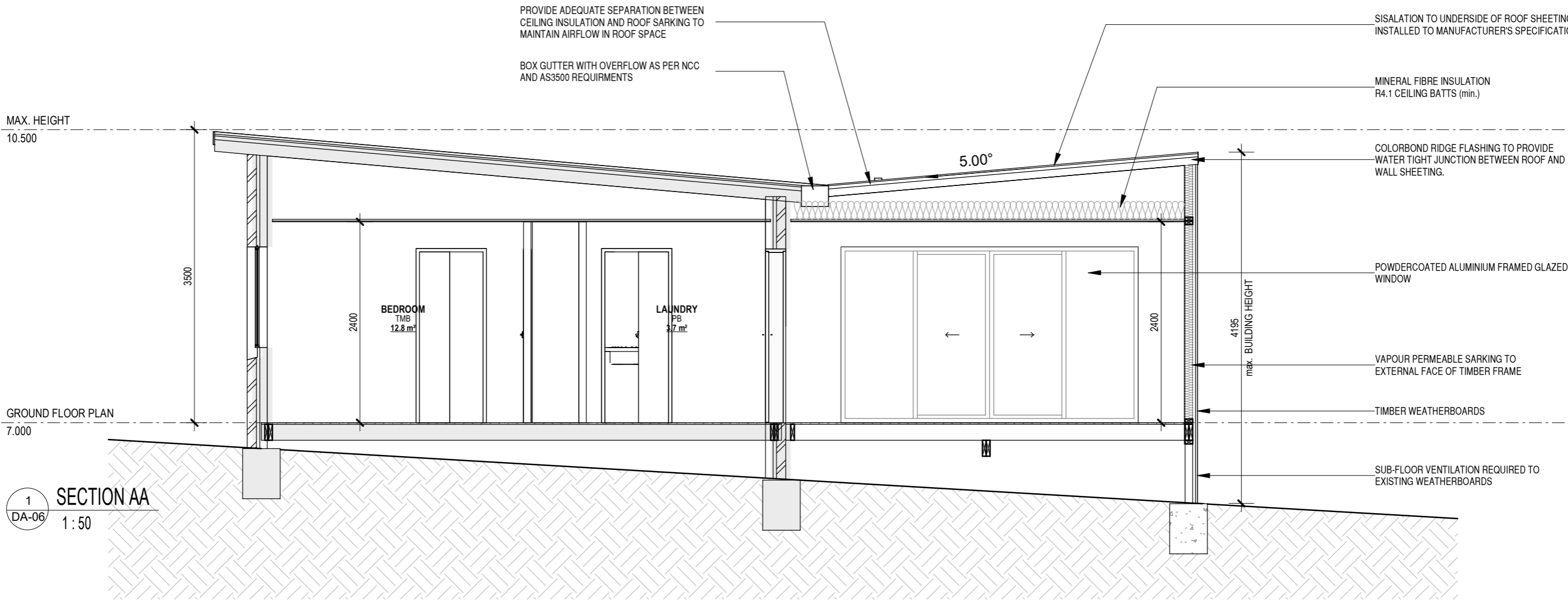
25-063

DA-05

1

project no. sheet no. revision: 1/09/2025 7:34:09 AM

DEVELOPMENT APPROVAL - NOT FOR CONSTRUCTION





rharchitecture

a: PO BOX 306, NEW NORFOLK, TASMANIA 7140  
m: 0448 866 391 e: roy@rharchitecture.com.au  
CBOS LIC. NO.: 132955139

|     |          |                |
|-----|----------|----------------|
| 1   | 01/09/25 | DA APPLICATION |
| REV | DATE     | DETAILS        |

© Copyright  
These drawings and designs and the copyright thereof are the property of RH Architecture and must not be used, retained or copied without the written permission of RH Architecture. Dimensions take precedence over scaling, do not measure off drawings as print sizes may vary.

RH  
INIT.

Client/ Project Name  
RETROSPECTIVE  
APPROVAL  
Project Address  
8 SLOPING MAIN DRIVE,  
SLOPING MAIN, TAS 7186.

drawn  
RH  
checked  
RH  
date  
08/25  
scale

sheet  
SITE PHOTOGRAPHS  
25-063  
project no.  
DA-07  
sheet no.

1  
revision:

1/09/2025 7:34:10 AM

DEVELOPMENT APPROVAL - NOT FOR CONSTRUCTION