

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval under the Land Use Planning and Approvals Act 1993, for the following development(s):

NUMBER:	DA 79/ 2024
ADDRESS:	12 Thomas Street, Taranna (CT: 159348/3 & 237688/1).
DESCRIPTION:	Sports and Recreation – Mountain Bike Track

All plans and documents submitted with the application can be inspected at the Tasman Council Office, Monday to Friday from 8:30am to 4:30pm. In addition to the statutory requirements, some documents, relevant to the assessment of the application are available on the council website by following this link:

<https://tasman.tas.gov.au/advertised-applications/>, by using the QR Code below, or they are available in hard copy upon request by calling Council on (03) 6250 9200 or email tasman@tasman.tas.gov.au during the period for which representations may be made, until **18 September 2025**.

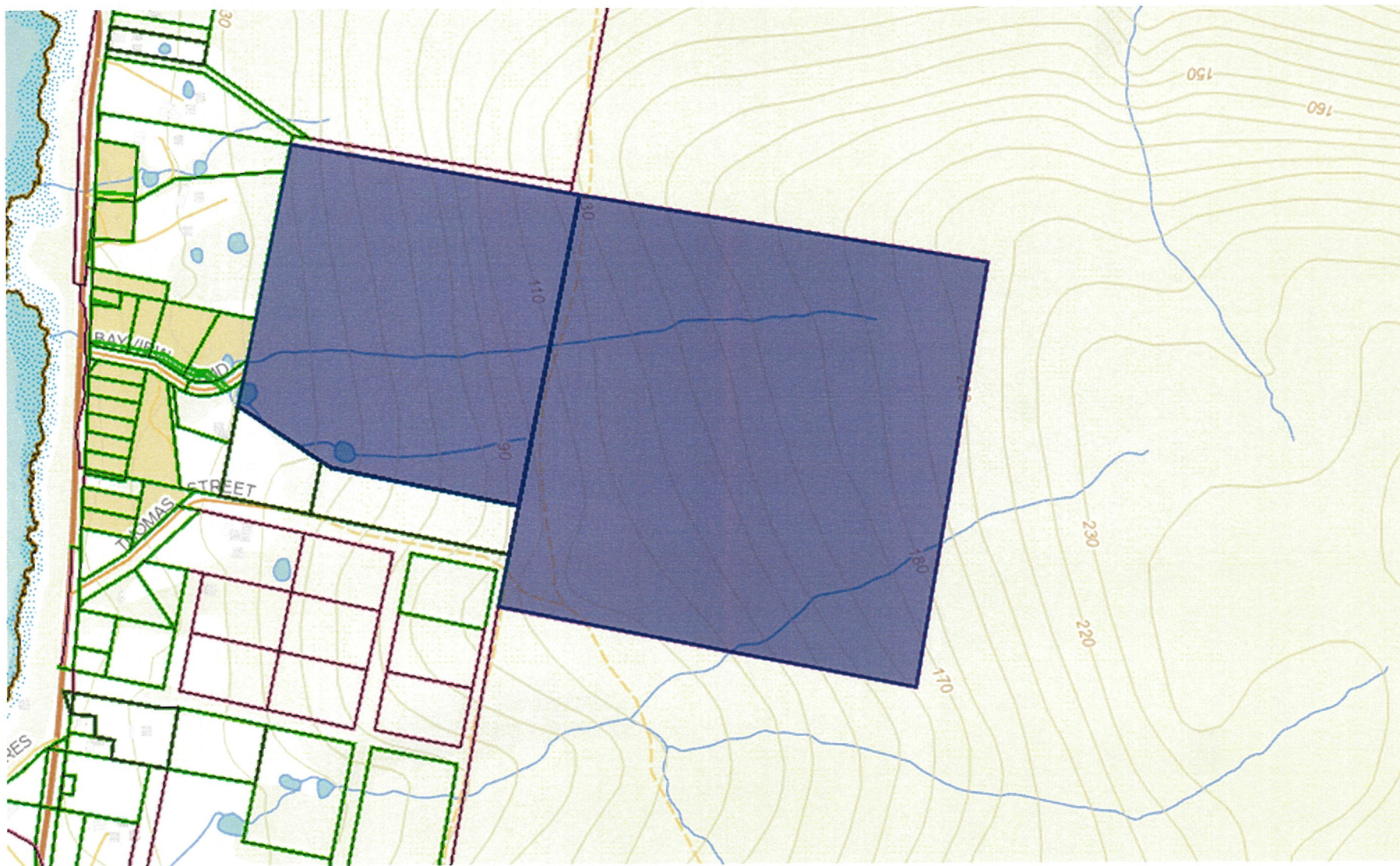
Any person may make a representation relating to the application. Representations are to be made in writing addressed to the General Manager, Tasman Council, 1713 Main Road, Nubeena TAS 7184 or by email to tasman@tasman.tas.gov.au and will be received no later than **18 September 2025**. Late representations will not be considered.

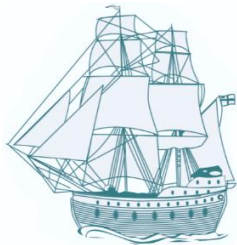


Blake Repine
General Manager
Date: 03 September 2025

DA 79 / 2024 – 12 Thomas Street, Taranna (CT 159348/3 & 237688/1) – The relevant plans and documents can be inspected at the Council Offices at 1713 Main Road, Nubeena during normal office hours, or the plans may be viewed on Council's website at www.tasman.tas.gov.au until the date representations close 18 September 2025.

The below image was sourced from The List: <https://maps.thelist.tas.gov.au/listmap/app/list/map>





TASMAN COUNCIL

1713 Main Road, Nubeena TAS 7184

Tel 03 6250 9200 Fax 03 6250 9220

Email tasman@tasman.tas.gov.au

Web www.tasman.tas.gov.au

ABN 63590070717

Application for Planning Permit

The personal information requested on this form is being collected by council for purpose set out in the title of the form. The personal information will be used solely by council for the primary purpose or directly related purposes. The applicant understands that personal information is provided for the above mentioned function and that he/she may apply to council for access to and/or amendment of the information. Requests for access or correction should be made to Tasman Council's Customer Service Officer.

APPLICANT DETAILS*

FULL NAME	Drew Carr		
POSTAL ADDRESS		POSTCODE	
PHONE (BUSINESS HOURS)		FAX	
MOBILE		EMAIL	

OWNERS DETAILS (IF DIFFERENT)*

FULL NAME			
POSTAL ADDRESS		POSTCODE	
PHONE (BUSINESS HOURS)		MOBILE	

DESCRIPTION OF PROPOSED DEVELOPMENT*

<input type="checkbox"/> New Dwelling	<input type="checkbox"/> New Shed/ Outbuilding	Sports and Recreation Use
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Extension/ Addition	
<input checked="" type="checkbox"/> Change of Use	<input type="checkbox"/> Demolition	
<input type="checkbox"/> Commercial/ Industrial Building	<input type="checkbox"/> Other (please specify – right)	

PRESENT USE OF LAND/ BUILDING(S)

LOCATION OF PROPOSED DEVELOPMENT*


ADDRESS	5841 ARTHUR HWY TARANNA TAS 7180 Property ID: 9179074		
CERTIFICATE OF TITLE	159348/3, 237688/1	LOT NUMBER	
FLOOR AREA			
Existing floor area (square metres):		Proposed floor area (square metres):	
CAR PARKING			
Number existing		Number proposed	

SITE CONTAMINATION	
Have any potentially contaminating uses been undertaken on this site? (Refer to list provided on page 5)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
TASMANIAN HERITAGE OR ABORIGINAL HERITAGE REGISTER	
Is this property on the Tasmanian Heritage or Aboriginal Heritage Register?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
VALUE (mandatory field)	
Value of work (inc. GST)	\$50,000 total project


PRE-APPLICATION DISCUSSIONS*

HAVE YOU HAD PRE-APPLICATION DISCUSSIONS WITH A COUNCIL OFFICER? (If yes, please specify officers name, if known) <u>Laura Small and Tanya Dalton</u>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
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DECLARATION BY APPLICANT*

I/ we declare that the information given is a true and accurate representation of the proposed development; and I/ we am/ are liable for the payment of Council application processing fees, even in the event of the development not proceeding; and I/ we authorise Tasman Council to provide a copy of my documents relating to this application to any person for the purpose of assessment and public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.	
SIGNATURE OF APPLICANT	
NAME OF APPLICANT (PLEASE PRINT)	Drew Carr
DATE	15/08/2025

DECLARATION IF APPLICANT IS NOT THE OWNER

I hereby declare that I am the applicant for the development at the address detailed in this application for a planning permit, and that I have notified the owner/s of the land for which I am making this application, in accordance with Section 52(1a) of the <i>Land Use Planning and Approvals Act 1993</i> .	
SIGNATURE OF APPLICANT	
NAME OF APPLICANT (PLEASE PRINT)	Drew Carr
DATE	30/07/2024
NAME/S OF OWNER/S NOTIFIED	
DATE	30/07/2024

IS THE APPLICANT AND/OR OWNER A TASMAN COUNCIL COUNCILLOR, COUNCIL OFFICER OR HIS OR HER SPOUSE OR IMMEDIATE RELATIVE? *	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
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DECLARATION IF LAND IS COUNCIL OR CROWN LAND

If the land that is the subject of this application is owned or administered by either the Crown or Tasman Council, the consent of the Minister of the Crown or the General Manager of the Council, whichever is applicable, must be included here. This consent should be completed and signed by either the Minister, the General Manager of Tasman Council, or their delegate (as specified in Subsections 52(1d-1g) of the *Land Use Planning and Approvals Act 1993*).

DECLARATION	I, _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application.
SIGNATURE OF MINISTER/ GENERAL MANAGER	
DATE	

NON-RESIDENTIAL DEVELOPMENTS

Note: This section must be completed for all applications for non-residential uses, home occupations and domestic/ residential businesses or other managed/ commercial residential uses (e.g. hostel or motel).

HOURS OF BUSINESS			
CURRENT		PROPOSED	
Monday to Friday		Monday to Friday	Daylight Hours
Saturday		Saturday	Daylight Hours
Sunday		Sunday	Daylight Hours
NUMBER OF EMPLOYEES			
CURRENT		PROPOSED	
Total Employees		Total Employees	
Employees on Site		Employees on Site	
PLANT/ MACHINERY			
Is there any large plant or machinery that would need to be installed or used on site such as refrigeration units and generators? (If yes, please list below the type of machinery and ensure location, dimensions etc are clearly marked on your plans.)			<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
OUTDOOR STORAGE/ SEATING/ NUMBER OF BEDS			
Is outdoor storage proposed? (If yes, please ensure that your plans show where the outdoor storage areas are and what type of goods are stored. This information will help us assess the impact of the proposal on the amenity.)			<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If you are proposing a night club, café or the like, what is the number of seats proposed including the capacity at any bar area?		Please ensure that the arrangements are shown on your plans. This information enables us to assess the car parking arrangements.	
If you are proposing a hotel, motel, visitor accommodation, hostel or the like, what is the number of beds proposed?		Please ensure the beds are clearly indicated on your plans. This information enables us to assess the car parking arrangements.	
GOODS DELIVERIES			
Will there be any goods deliveries to and from the site? (If yes, please estimate the number and type of vehicles and how often they will make trips.)			<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Type and Size of Vehicle		Number of Vehicles on Site	
Trip Frequency per Month			

CHECKLIST

To ensure that we can process your application as quickly as possible, please read the following checklist carefully to ensure that you have provided the following at the time of lodging the application. If you are unclear on any aspect of your application, please phone **(03) 6250 9200** to discuss or arrange an appointment concerning your proposal. Note that, in accordance with Section 54 of the *Land Use Planning and Approvals Act 1993*, Council may require additional information.

1. A completed Application for Planning Permit Form. *Please ensure that the form provides an accurate description of the proposal, has the correct address and contact details and is signed and dated by the applicant.*
2. A current copy of the Certificate of Title for all lots involved in the proposal. *The title details must include, where available, a copy of the search page, title plan, sealed plan or diagram and any schedule of easements (if any), or other restrictions, including covenants. Council notification or conditions of transfer.*
3. One (1) copy of the following information (email submissions are accepted):
 - a. An analysis of the site and surrounding area setting out accurate descriptions of the following:
 - i. topography and major site features including an indication of the type and extent of native vegetation present, natural drainage lines, water courses and wetlands, trees greater than 5 metres in height in areas of skyline or landscape importance and identification of any natural hazards including flood prone areas, high fire risk areas and land subject to instability;
 - ii. soil conditions (depth, description of type, land capability etc);
 - iii. the location and capacity of any existing services or easements on the site or connected to the site;
 - iv. existing pedestrian and vehicle access to the site;
 - v. any existing buildings on the site;
 - vi. soil and water management plans.
 - b. A site plan for the proposed use or development, drawn at a scale of not less than 1:200 (1:1000 for sites in excess of 1 hectare), showing:
 - i. a north point;
 - ii. the boundaries and dimensions of the site;
 - iii. Australian Height Datum (AHD) levels;
 - iv. natural drainage lines, watercourses and wetlands;
 - v. soil depth and type
 - vi. the location and capacity of any existing services or easements on the site or connected to the site;
 - vii. the location of any existing buildings on the site, indicating those to be retained or demolished, and their relationship to buildings on adjacent sites, streets and access ways;
 - viii. the use of adjoining properties;
 - ix. shadow diagrams of the proposed buildings where development has the potential to cause overshadowing;
 - x. the dimensions, layout and surfacing materials of all access roads, turning areas, parking areas and footpaths within and at the site entrance;
 - xi. any proposed private or public open space or communal space or facilities;
 - xii. proposed landscaping, indicating vegetation to be removed or retained and species and mature heights of plantings; and
 - xiii. methods of minimizing erosion and run-off during and after construction and preventing contamination of storm water discharged from the site.
 - c. Plans and elevations of proposed and existing buildings, drawn at a scale of not less than 1:100, showing internal layout and materials to be used on external walls and roofs and the relationship of the elevations to natural ground level showing any proposed cut or fill.
4. A written submission supporting the application that demonstrates compliance with the relevant parts of the Act, State Policies and planning scheme.

Please note that application fees will be invoiced upon initial assessment.

Please contact the Council's Building & Development Services Department on (03) 6250 9200 for details of fees.

POTENTIALLY CONTAMINATING ACTIVITIES	
Agricultural Fertiliser Manufacture	Metal Founders
Asbestos Production and Manufacture	Metal Sprayers
Battery Manufacture and Recycling	Metal Treatments and Picklers
Chemical Manufacture or Formation	Mining and Extractive Industries
Defence Establishments and Training Areas	Pest Controllers (being areas where pest control chemicals are stored or vehicles and tanks used in connection with pest control are washed.)
Drum Reconditioning Wastes	Petroleum and Petrochemical Industries
Dry Cleaning Establishments	Pharmaceutical Manufacture or Formation
Electroplating	Printers
Explosives Production and Storage	Railway Yards
Fuel Depots and Storage Areas	Sanitary and Refining
Galvanisers	Scrap Yards
Gas Works	Service Stations
Gun, Pistol and Rifle Clubs	Smelting and Refining
Hazardous Waste Landfills	Tannery or Fellmongery or Hide Curing Works
Industrial Cleaners	Wood Treatment and Preservation Sites
Lime Burners	

DEFINITION OF OWNER
"Owner" means any of the following:
(a) in the case of a fee simple estate in land – the person in whom that estate is vested;
(b) in the case of land not registered under the <i>Land Titles Act 1980</i> and subject to a mortgage – the person having, for the time being, the equity of redemption in that mortgage;
(c) in the case of the land held under a tenancy for life – the person who is the life tenant;
(d) in the case of land held under a lease of a term not less than 99 years or for a term of not less than such other prescribed period – the person who is the lessee of the land;
(e) in the case of land in respect of which a person has a prescribed interest – that person;
(f) in the case of Crown Land within the meaning of the <i>Crown Lands Act 1976</i> – the Crown on right of the State of Tasmania

OFFICE USE ONLY:

<input type="checkbox"/> Planning Fees \$ _____	Receipt No: _____
<input type="checkbox"/> Advertising Fees \$ _____	Date of Receipt: _____

SEARCH OF TORRENS TITLE

VOLUME 159348	FOLIO 3
EDITION 3	DATE OF ISSUE 17-Aug-2023

SEARCH DATE : 02-Sep-2025

SEARCH TIME : 01.08 PM

DESCRIPTION OF LAND

Parish of TARANNA Land District of PEMBROKE

Lot 3 on Sealed Plan [159348](#)

Derivation : Part of Lot 37548, 13.35ha Gtd to K J Cruse.

Prior CT [237973/1](#)SCHEDULE 1B9473 & [E329375](#)

at noon

Registered 17-Aug-2023

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP159348](#) COVENANTS in Schedule of Easements[SP159348](#) FENCING COVENANT in Schedule of Easements[C193182](#) PRIVATE TIMBER RESERVE pursuant to Section 15(1) of
the Forest Practices Act 1985 Registered
01-Sep-2000 at noon[C979031](#) AGREEMENT pursuant to Section 71 of the Land Use
Planning and Approvals Act 1993 Registered
24-Aug-2010 at noonUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p><u>OWNER</u></p> <p><u>FOLIO REFERENCE</u> C.T. 237973 - 1</p> <p><u>GRANTEE</u> WHOLE LOT 37548, 13.35 ha, KENNETH JAMES CRUSE PUR.</p>		<p>PLAN OF SURVEY</p> <p><u>BY SURVEYOR</u> TONY WOOLFORD 72 GRAHAMS ROAD, MT. RUMNEY. 7170 <u>LOCATION</u> Phone 6248 5224</p> <p>LAND DISTRICT OF PEMBROKE PARISH OF TARANNA</p> <p>SCALE 1:2,000 LENGTHS IN METRES</p>		<p>REGISTERED NUMBER SP159348</p> <p><u>APPROVED</u> <u>EFFECTIVE FROM</u> 24 AUG 2010</p> <p><i>Alice Kawa</i> Recorder of Titles</p>	
MAPSHEET MUNICIPAL CODE No. 126 (5623)	LAST UPI No 3200166	LAST PLAN No. P237973	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		

LOT 3
11.26 ha

LOT 1
8,337m²

LOT 2
1.251 ha

THOMAS STREET

MARY ST. HENRY STREET LILIAN STREET

LOT 3 COMPILED FROM C.T. 237973-1
AND THIS SURVEY.

Wendy Hark 27/5/10
COUNCIL DELEGATE DATE

(1-1)

SEARCH OF TORRENS TITLE

VOLUME 237688	FOLIO 1
EDITION 6	DATE OF ISSUE 17-Aug-2023

SEARCH DATE : 02-Sep-2025

SEARCH TIME : 01.08 PM

DESCRIPTION OF LAND

Parish of TARANNA, Land District of PEMBROKE

Lot 1 on Plan [237688](#)

Derivation : Whole of Lot 37059 Gtd. to M.P. Cruse

Prior CT [3615/81](#)SCHEDULE 1B9473 & [E329375](#)
at noon

Registered 17-Aug-2023

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[C193182](#) PRIVATE TIMBER RESERVE pursuant to Section 15(1) of
the Forest Practices Act 1985 Registered
01-Sep-2000 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

05-D225

VOL.

FOL.

ANNEXURE TO CERTIFICATE OF TITLE

3615

81

REGISTERED NUMBER

237688

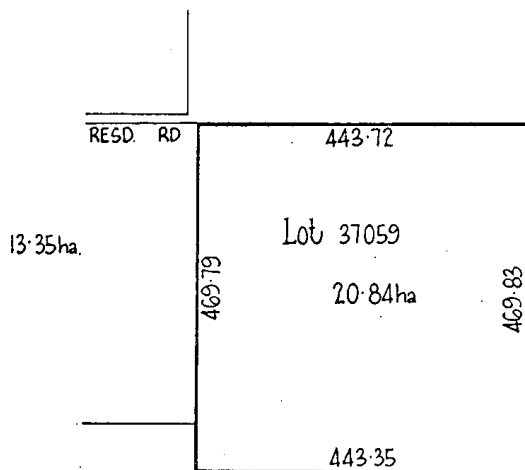
William Harrison
Recorder of Titles



Lot 1 of this plan consists of all the
land comprised in the above-mentioned
cancelled folio of the Register

Whole of Lot 37059 Gtd.
to M. P. Cruise
Meas. in Metres

PH. TARANNA



SCHEDULE OF EASEMENTS NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	Registered Number SP159348
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EASEMENTS AND PROFITS

PAGE 1 OF 5 PAGES

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS:

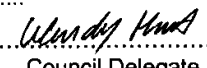
Lot 1 on the Plan is subject to an Electricity Easement as hereinafter defined appurtenant to Lot 2 on the Plan over the Electricity Easement 12.00 wide shown on the Plan passing through such lot.

Lot 2 on the Plan is together with an electricity easement over the Electricity Easement 12.00 wide shown passing through Lot 1 on the Plan.

COVENANTS:

- A. The Owner or Owners of each Lot on the Plan covenant with the Vendor
- and the owner or owners for the time being of every other
- Lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantor's Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every Lot shown on the Plan to observe the following stipulations:

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: I FOLIO REF: Volume 237973 Folio 1 SOLICITOR & REFERENCE: Murdoch Clarke (DMW:0976033)	PLAN SEALED BY: Tasman Council DATE: 31/5/10 DA 19/08: REF NO.  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

<p align="center">ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p align="center">PAGE 2 OF 5 PAGES</p>	<p align="center">Registered Number</p> <p align="center">SP 159348</p>
<p>SUBDIVIDER: FOLIO REFERENCE: Volume 237973 Folio 1</p>	

1. Not to construct or permit to be constructed on any Lot on the Plan any dwelling or other building which is made from a kit, is a relocatable home or is otherwise portable in nature.
2. Not to use or permit to be used a caravan on any Lot as a residence on that Lot.
3. Without limiting the generality of covenant number 2 not to place or erect a caravan or temporary dwelling on any lot for a period of longer than nine (9) months in total.
4. Not to place or erect any dwelling of any nature either temporary or permanent on any lot unless it is connected to a wastewater disposal system approved of by an Environmental Health Officer of the Tasman Council.
5. Not to erect or place or permit to be erected or placed any dwelling house on any such Lot having a total floor area of less than 70 square metres exclusive of any car accommodation, external landings, patios and outbuildings.
6. Not to erect or place or permit to be erected or placed on any such Lot a building or structure having a roof other than of brown or green clay tiles or brown or green cement tiles or brown or green corrugated iron or such other material as is approved of by the Tasman Council.

- B. The Owner or Owners of Lot 1 on the Plan covenants with the Vendor and the Owner or Owners for the time being of every other Lot shown on the Plan to the intent that the burden of this covenant may run with and bind the covenantor's Lot and every other part thereof and that the benefit thereof shall be annexed to and devolve with each and every

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 5 PAGES	Registered Number SP 159348
SUBDIVIDER: FOLIO REFERENCE: Volume 237973 Folio 1	

Lot shown on the Plan not to erect or permit to be erected any dwelling or other building outside the building envelope shown on the said Lot 1 and marked "ABCD".

- C. The Owner or Owners of Lot 2 on the Plan covenants with the Vendor and the Owner or Owners for the time being of every other Lot shown on the Plan to the intent that the burden of this covenant may run with and bind the covenantor's Lot and every other part thereof and that the benefit thereof shall be annexed to and devolve with each and every Lot shown on the Plan not to erect or permit to be erected any dwelling or other building outside the building envelope shown on the said Lot 2 and marked "ABCD".

FENCING COVENANT:

The owners of each lot shown on the Plan covenant with the Vendor () that the Vendor shall not be required to fence.

INTERPRETATION:

In this Schedule:

- (a) Words expressed in the singular include the plural and vice versa as is appropriate in the context;
- (b) "Electricity Easement" means the full and free right and liberty for the Owner or Owners for the time being of Lot 2 and their authorised agents or contractors:

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 5 PAGES	Registered Number SP159348
SUBDIVIDER: FOLIO REFERENCE: Volume 237973 Folio 1	

- (i) to maintain, lay, erect and install anything used for, or in connection with, the generation, transmission or distribution of electricity including power lines (overhead or underground) for transmission of electricity above, on or under the land marked "Electricity Easement 12.00 Wide" on Lot 1 on the Plan (hereinafter called "the Servient Land");
- (ii) to enter into and upon the Servient Land for the purpose of examining, maintaining, repairing, modifying, adding to or replacing all necessary wiring and other materials without doing unnecessary damage to the Servient Land but in any event making good all damage occasioned thereby;
- (iii) to permit electrical energy to flow or be transmitted or distributed through the said power lines

PROVIDED THAT nothing herein contained shall prevent the Owner or Owners for the time being of Lot 1 on the Plan from using the Servient Land **PROVIDED FURTHER THAT** such use does not derogate from this grant or compromise the safe operation of the transmission of electricity over the Servient Land.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 5 PAGES	Registered Number SP 159348
SUBDIVIDER: FOLIO REFERENCE: Volume 237973 Folio 1	

SIGNED by _____ and _____)
the _____)
registered proprietors of the land comprised in)
folio of the register Volume 237973 Folio 1)
in the presence of: _____) /

The Commonwealth Bank of Australia as Mortgagee pursuant to Memorandum of Mortgage
C739475 hereby consents to the within Schedule of Easements.

SIGNED SEALED and DELIVERED
for and on behalf of COMMONWEALTH BANK
OF AUSTRALIA by its Attorney
SIMONA HILL
under Registration Power of Attorney No. 72/6177
who certifies that *she* is
A CONVEYANCING OFFICER
of the COMMONWEALTH BANK OF AUSTRALIA
declares that *he/she* has received no notice
of revocation of the said Power of Attorney and
in the presence of:
LISA WEBB
Bank Officer, Melbourne
18, 385 BOURKE STREET

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

Samantha Stansbie

From: Drew Carr <Drew.Carr@committo.com.au>
Sent: Tuesday, 30 July 2024 3:29 PM
To: Samantha Stansbie; Laura Small
Subject: RE: Planning Enquiry - Mountain Bike Trails
Attachments: TPMBA Council Letter 2024.pdf; Tasman_Application Form Complete.pdf; TPMBA Sign Examples.pdf; RE: Tasman MTB

Hi Laura and Samantha,

I have responded below, I have also included a copy of the info sent to Tanya and the Council about our long-term aspirations. This club facility which we are currently working on is not the primary objective of the club, our aim is to lobby for a public trail network similar to Derby, George Town, St Helens, Queenstown, Latrobe and so on.

We are planning an open day on October 26th, I'd like to have the planning issue resolved before we send out invitations though. Do you think this will be possible?

1. A completed and signed application form (attached for your information);
Attached.
2. A copy of the Certificate of Title for the site which includes the Folio Text and Folio Plan and any relevant schedule of easements;
The association requests Council's support to obtain a copy of these documents, as this is over two titles and a significant cost.
3. A site plan showing the location of all existing and proposed trails and any associated works or vegetation removal required to facilitate the trails;
We maintain our list of trails on the Trailforks public database, this central location allows us to open and close trails as required: <https://www.trailforks.com/region/bayview-road-network-tasman-peninsula-mountain-bike-trails-65649/>
4. A cover letter outlining the business plan and the intent of the use moving forward (we discussed this briefly on the phone and this information will be beneficial for the application);
Attached.
5. Details of car parking and access to the site;
A small area has been cleared inside the gate from Bayview Road to allow parking for offroad vehicles.
6. Details of any signage (existing or proposed);
Attached.
7. Details of the proposed hours of operation; and
Open daylight hours.
8. A written response to the relevant clauses of the Rural living zone of the Tasmanian Planning Scheme – Tasman (attached for your information).
At this stage no buildings will be erected. Use is daylight hours all year round. No noise issues are expected as mountain bikes are generally silent.

Looking forward to your feedback.

Regards,



Mayor – Rod Macdonald & General Manager – Blake Repine
Tasman Council
1713 Main Road,
Nubeena, TAS 7184

To Tasman Council,

In late 2021 the Tasman Peninsula Mountain Bike Association (TPMBA) was formed to campaign for a world-class mountain bike network in Taranna.

Taranna was selected as having ideal access, existing facilities, favourable land tenure and a suitable amount of vertical descent from the highest point. The TPMBA developed a feasibility study (attached), which outlined the key concepts.

In April 2023, GHD Pty Ltd released the “Southeast Tasmania Mountain Bike Strategic Plan - Factors for success of mountain bike recreation” a report (attached) commissioned by South East Region Development Association (SERDA).

The report notes many benefits to adding a trail network to the Tasman Peninsula, however the report focuses on a trail network in the Wielangta State Forest.

The GHD report estimates a capex value of \$3,795,000 (Section 5.1) with annual costs of \$265,650. Forecast annual economic benefits increase from \$277,625 in year 1 to \$1,388,125 per annum for years 5 and beyond.

The report outlines many positive social impacts and environmental impacts (Section 5.3).

The TPMBA believes the report from GHD provides an accurate representation of the significant potential of additional trail networks in the area.

A greater increased return on investment as well as increased social and environmental benefits could be realised if the trail network was developed in Taranna.

When compared with the Wielangta State Forest option, TPMBA’s proposed Taranna network:

- 1) Provides easier access with sealed roads and significant upgrades planned for the Arthur Highway
(https://www.transport.tas.gov.au/roadworks/current_projects/south_road_projects/arthur_highway_corridor_strategy)
- 2) Utilises only public land with lesser ecological value (Permanent Timber Production Zone, Future Potential Production Forest)

- 3) Enables access to existing, underutilised facilities at the Taranna Community Centre including parking, toilets, showers and other amenities
- 4) Leverages high traffic to existing tourism locations such as the Port Arthur Historic Site, welcoming 187,203 visitors in 2021-2022 (<https://portarthur.org.au/wp-content/uploads/2022/06/PAHSMA-AnnualReport-2021%E2%80%9322.pdf>)
- 5) Provides greater positive social impact with a higher local population density, including a higher socio-economic disadvantage rating. (<https://www.abs.gov.au/statistics/people/people-and-communities/socio-economic-indexes-areas-seifa-australia/latest-release#interactive-maps>)
- 6) Closer access for young people with Tasman District School nearby.
- 7) Enhances a tourism-focused local economy, with an existing accommodation capacity and visitor-welcoming culture

Since inception in late 2021 the TPMBA has grown from a small group to a highly engaged membership base of 130+ people. Significant community support has been generated for the project, with more than 700 followers joining the recently created Facebook page.

Letters of Support for the proposed network have been provided by Tasman District School, The Taranna Community Centre Association, Tasman Rotary, Port Arthur Historic Site, Osbourne Aviation and Bicycle Network Australia. Direct donations have been made by Tasman Lions, Bendigo Bank and Tasman Community Op Shop and Library.

A small portion of private land has been secured by the club to provide basic trail facilities, to meet the high level of local demand, with trails constructed by a large, passionate group of volunteers.

The TPMBA presented their in-house feasibility study to Tasman Council in 2022. The recent report from GHD further substantiates the enormous potential of a world-class trail facility in the area.

With this recent, unbiased report from a leading global consulting company, TPMBA urges Tasman Council to now take action to assist in campaigning for this trail network to be created in a location that maximises the potential of the project as well as the possible social and economic benefits to the region and state.

The TPMBA requests that Tasman Council:

- 1) Consider this project as included as a top priority for the region.
- 2) Partner with the association to seek funding for master planning within the next six months, to enable a shovel-ready project for the next Federal and State election.

Warm regards,

Casey Garrett – President of The Tasman Peninsula Mountain Bike Association.





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Layers Basemap Trail Style Filter Activity Type

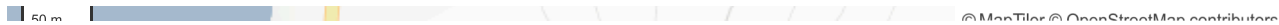
Popular Routes

Tassi East Coast Ride

Trails

LEGEND

3D



This network is managed by the Tasman Peninsula Mountain Bike Association. The network was established in 2023, which was generously donated to the club by a local family as a lease. The network is spread over 100 acres, with 180 metres of usable elevation.

Primary Trail Type: All-Mountain & Downhill

Land Status: Managed by Local Riding Association

Land Manager: Tasman Peninsula Mountain Bike Association

Access Info:



 [google parking directions.](#)

Please access this network off Bayview Road

Disclaimer:

Due to the trail being located on Private Lease, the Association kindly requests that all users of the network pay a membership fee to cover insurance and upkeep of the network.

Links

Tasman Peninsula Mountain Bike Association

Tasman Peninsula Mountain Bike Association

Activities *Click to view*

S *Click to view*

E-Bike

8 trails

Hike

3 trails

Trail Running

3 trails

Region Details



Region Status



Open as of Aug 8, 2023

Stats

Trails (view details): 8

Total Distance: 3 km

Total Descent Distance: 2 km

Total Descent: 221 m

Total Vertical: 92 m

Highest Trailhead: 128 m

Reports: 7

Photos: 7

Ridden Counter: 7

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Popular Bayview Road Network - Tasman Peninsula

status	title	difficulty	rating
✓	Drop Bear	◆	☆☆☆☆☆
✓	Sixpack and a Tin of Tuna	▲	☆☆☆☆☆
✓	Tarannasoreass	●	☆☆☆☆☆
✓	Flow State	▲	☆☆☆☆☆
✓	Ticket o' Leave	●	☆☆☆☆☆
✓	Snake Charmer	◆	☆☆☆☆☆
✓	Crack Fox	▲	☆☆☆☆☆
✓	Drop Bear Connector	▲	☆☆☆☆☆

Recent Ride Log Activity in Region

Today

0 rides

Yesterday

0 rides

Past Week

0 rides

Photos of Bayview Road Network - Tasman Peninsula Mountain Bike Trails Mountain Bike

trail: [Flow State](#)
8 🗨 | May 15, 2024

trail: [Flow State](#)
5 🗨 | May 15, 2024

trail: [Flow State](#)
5 🗨 | May 15, 2024

trail: [Tarannasoreass](#)
10 🗨 | Feb 13, 2024

trail: [Drop Bear](#)
17 🗨 | Feb 13, 2024

trail: [Ticket o' Leave](#)
7 🗨 | Feb 13, 2024

trail: [Drop Bear](#)
11 🗨 | Feb 13, 2024

Recent Trail Reports


status	trail	date	condition	info	user
✓	Tarannasoreass	May 4, 2024	🟢 Ideal		JamesYjmrwA
✓	Sixpack and a Tin of Tuna	May 4, 2024	🟡 Dry		JamesYjmrwA
✓	Drop Bear	May 4, 2024	🟢 Ideal	Hero dirt!	JamesYjmrwA
✓	Flow State	May 4, 2024	🟢 Ideal	Hero dirt!	JamesYjmrwA

Activity Feed


username	action	type	title	date
JamesYjmrwA	ridden	trail	activity #55419583	Jul 10, 2024
JamesYjmrwA	add	poi	activity #55238120	Jul 6, 2024
JamesYjmrwA	add	region	activity #53338691	May 29, 2024

Recent Comments


Local Mountain Biking Directory




Hobart Dirt Devils




Tasman Peninsula Mounta...



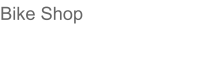
Meehan Range Trail Groo...



Next Level Mountain Bike








Tasmanian Mountain Bike ...



Cyclingo
Bike Shop

username	type	title	comment	date
JamesYjmrwA	trail	Crack Fox	Aka 'Pensioner Discount'	May 23, 2024

Nearby Areas

name				distance
Lime Bay State Reserve		1		10.4 km
Tasman National Park		2		11.3 km
Cape Deslacs Nature Reserve		5		16.9 km
Single Hill				19.3 km
Kellevie MTB Park				19.4 km

Local Weather

Koonya

1st Thu


broken clouds

2nd Fri

overcast clouds


8°C - 13°C

3rd Sat

overcast clouds

7°C - 12°C

4th Sun

scattered clouds

7°C - 12°C

5°C - 7°C
humidity: 79
sunset: 5:09 pm

Activity Type Stats

activitytype	trails	distance	descent	descent distance	total vertical	rating	global rank	state rank	photos	reports	routes	ridelogs
Mountain Bike	8	3 km	221 m	2 km	92 m	☆☆☆☆☆		#901	7	7		
E-Bike	6	2 km	197 m	2 km	83 m	☆☆☆☆☆		#360		2		2
Hike	3	1 km	24 m	221 m	87 m	☆☆☆☆☆		#855		5		
Trail Running	3	1 km	24 m	221 m	87 m	☆☆☆☆☆		#845		5		

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By [JamesYjmrwA](#) & [contributors](#)

Admins: [Sekt](#)

#65649 - 88 views

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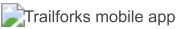

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Downloading of trail gps tracks in kml & gpx formats is *enabled* for Bayview Road Network - Tasman Peninsula Mountain Bike Trails.
 You must login to download files.



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Trail Map

