

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval under the Land Use Planning and Approvals Act 1993, for the following development(s):

NUMBER:	DA 77 / 2025
ADDRESS:	5018 Arthur Highway, Eaglehawk Neck (CT 175720/1)
DESCRIPTION:	Residential – Construction of a Dwelling and Outbuilding

All plans and documents submitted with the application can be inspected at the Tasman Council Office, Monday to Friday from 8:30am to 4:30pm. In addition to the statutory requirements, some documents, relevant to the assessment of the application are available on the council website by following this link:

<https://tasman.tas.gov.au/advertised-applications/>, by using the QR Code below, or they are available in hard copy upon request by calling Council on (03) 6250 9200 or email tasman@tasman.tas.gov.au during the period for which representations may be made, until **27 November 2025**.

Any person may make a representation relating to the application. Representations are to be made in writing addressed to the General Manager, Tasman Council, 1713 Main Road, Nubeena TAS 7184 or by email to tasman@tasman.tas.gov.au and will be received no later than **27 November 2025**. Late representations will not be considered.



A handwritten signature in black ink, appearing to read 'Blake Repine', located to the right of the QR code.

Blake Repine
General Manager
Date: 14 November 2025

DA 77 / 2025 – 5018 Arthur Highway, Eaglehawk Neck (CT 175720/1) – The relevant plans and documents can be inspected at the Council Offices at 1713 Main Road, Nubeena during normal office hours, or the plans may be viewed on Council's website at www.tasman.tas.gov.au until the date representations close 27 November 2025.

The below image was sourced from The List: <https://maps.thelist.tas.gov.au/listmap/app/list/map>



TASMAN COUNCIL

A Natural Escape

Application for Planning Permit

The personal information requested on this form is being collected by council for purpose set out in the title of the form. The personal information will be used solely by council for the primary purpose or directly related purposes. The applicant understands that personal information is provided for the above mentioned function and that he/she may apply to council for access to and/or amendment of the information. If an application is made under Section 57 of the Land Use Planning and Approvals Act 1993, a copy of the lodgement documents must be made available for any person to inspect during public notification. Please note that any information, reports and plans submitted with an application are treated as public documents and may be reproduced for representors, referral authorities and any other persons/bodies interested in the proposal. Requests for access or correction should be made to Tasman Council's Customer Service Officer.

* Indicates mandatory field

APPLICANT DETAILS*

FULL NAME	TAS BUILDING DESIGN		
POSTAL ADDRESS		POSTCODE	
PHONE (BUSINESS HOURS)		MOBILE:	
EMAIL			

NOTE: All Council correspondence will be emailed to the applicant unless otherwise specified.

OWNERS DETAILS (IF DIFFERENT TO APPLICANT DETAILS)*

ENSURE OWNER DETAILS MATCH THE CURRENT CERTIFICATE OF TITLE

FULL NAME			
POSTAL ADDRESS		POSTCODE	
PHONE (BUSINESS HOURS)		MOBILE	

DESCRIPTION OF PROPOSED DEVELOPMENT*

<input checked="" type="checkbox"/> New Dwelling	<input type="checkbox"/> Extension/ Addition
<input checked="" type="checkbox"/> New Shed/ Outbuilding	<input type="checkbox"/> Demolition
<input type="checkbox"/> Subdivision/ Boundary Adjustment	<input type="checkbox"/> Visitor Accommodation
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Other (please specify – right)
<input type="checkbox"/> Commercial/ Industrial Building	

Are any of the components in this application seeking retrospective approval?*	<input type="checkbox"/> Yes
E.g. Use and/or development that has commenced without a planning permit. (If yes, please specify the relevant components)	<input checked="" type="checkbox"/> No

PRESENT USE OF LAND/ BUILDING(S)*
VACANT LAND.

LOCATION OF PROPOSED DEVELOPMENT*

ADDRESS	5018 ARTHUR HWY EAGLEHAWK NECK		
CERTIFICATE OF TITLE: FOLIO NUMBER	175 720	LOT NUMBER	1

FLOOR AREA*	
Existing floor area (square metres):	— Proposed floor area (square metres): 168 m ² .
CAR PARKING*	
Number existing	— Number proposed 2


SITE CONTAMINATION*	
Have any potentially contaminating uses been undertaken on this site? (Refer to list provided on page 5)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
TASMANIAN HERITAGE OR ABORIGINAL HERITAGE REGISTER*	
Is this property on the Tasmanian Heritage or Aboriginal Heritage Register?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
VEGETATION REMOVAL*	
Does the proposal require any vegetation removal? If yes, provide details on the site plan.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
VALUE*	
Value of work (inc. GST)	\$550,000.

Please complete both declarations if you are making the application but not the owner

DECLARATION BY APPLICANT*

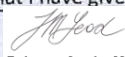
I/ we declare that the information given is a true and accurate representation of the proposed development; and I/ we am/ are liable for the payment of Council application processing fees, even in the event of the development not proceeding; and I/ we authorise Tasman Council to provide a copy of my documents relating to this application to any person for the purpose of assessment and public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.	
SIGNATURE OF APPLICANT	
NAME OF APPLICANT (PLEASE PRINT)	
DATE	

DECLARATION IF APPLICANT IS NOT THE OWNER

I hereby declare that I am the applicant for the development at the address detailed in this application for a planning permit, and that I have notified the owner/s of the land for which I am making this application, in accordance with Section 52(1a) of the <i>Land Use Planning and Approvals Act 1993</i> .	
SIGNATURE OF APPLICANT	
NAME OF APPLICANT (PLEASE PRINT)	KEVIN ROBERTS
DATE	29/08/25
NAME/S OF OWNER/S NOTIFIED	
DATE	29/08/25.

DECLARATION IF LAND IS COUNCIL OR CROWN LAND

If the land that is the subject of this application is owned or administered by either the Crown or Tasman Council, the consent of the Minister of the Crown or the General Manager of the Council, whichever is applicable, must be included here. This consent should be completed and signed by either the Minister, the General Manager of Tasman Council, or their delegate (as specified in Subsections 52(1d-1g) of the *Land Use Planning and Approvals Act 1993*).

DECLARATION	I, <u>Fiona McLeod</u>
	being responsible for the administration of land at _____
	declare that I have given permission for the making of this application.
SIGNATURE OF MINISTER/ GENERAL MANAGER	 Delegate for the Minister administering the Roads and Jetties Act 1935
DATE	27/10/2025

NON-RESIDENTIAL DEVELOPMENTS

Note: This section must be completed for all applications for non-residential uses, home occupations and domestic/ residential businesses or other managed/ commercial residential uses (e.g. hostel or motel).

HOURS OF BUSINESS			
CURRENT		PROPOSED	
Monday to Friday		Monday to Friday	
Saturday		Saturday	
Sunday		Sunday	
NUMBER OF EMPLOYEES			
CURRENT		PROPOSED	
Total Employees		Total Employees	
Employees on Site		Employees on Site	
PLANT/ MACHINERY			
Is there any large plant or machinery that would need to be installed or used on site such as refrigeration units and generators? (If yes, please list below the type of machinery and ensure location, dimensions etc are clearly marked on your plans.)			<input type="checkbox"/> Yes <input type="checkbox"/> No
OUTDOOR STORAGE/ SEATING/ NUMBER OF BEDS			
Is outdoor storage proposed? (If yes, please ensure that your plans show where the outdoor storage areas are and what type of goods are stored. This information will help us assess the impact of the proposal on the amenity.)			<input type="checkbox"/> Yes <input type="checkbox"/> No
If you are proposing a night club, café or the like, what is the number of seats proposed including the capacity at any bar area?		Please ensure that the arrangements are shown on your plans. This information enables us to assess the car parking arrangements.	
If you are proposing a hotel, motel, visitor accommodation, hostel or the like, what is the number of beds proposed?		Please ensure the beds are clearly indicated on your plans. This information enables us to assess the car parking arrangements.	
GOODS DELIVERIES			
Will there be any goods deliveries to and from the site? (If yes, please estimate the number and type of vehicles and how often they will make trips.)			<input type="checkbox"/> Yes <input type="checkbox"/> No
Type and Size of Vehicle		Number of Vehicles on Site	
Trip Frequency per Month			

PLANNING PERMIT – APPLICATION CHECKLIST – MANDATORY

To ensure that we can process your application as quickly as possible, please read the following checklist carefully to ensure that you have provided the following at the time of lodging the application.

If you are unclear on any aspect of your application, please phone **(03) 6250 9200** to discuss or arrange an appointment concerning your proposal. Note that, in accordance with Section 54 of the *Land Use Planning and Approvals Act 1993*, Council may require additional information.

Please note that the following information is required by Clause 6.1 of the State Planning Provisions. An application will not be considered to be a valid application and will not be processed without the required information as detailed below.

Please complete the below checklist



Completed Application Form - Required

All sections filled out correctly and owner details match those listed on the title documents
Application form includes a detailed cost estimate of the proposal



Written Submission - Required

Description of the proposed development
Justification addressing the Performance Criteria (if applicable)



Title Documents - Required

Current copy of the Certificate of Title (Folio Plan and Text Page)
Copies of any restrictive covenants, easements, or other relevant documents.



Site Plan - Required

Drawn to scale
Shows the location of the proposed development including setback distances from boundaries
Includes existing structures, property boundaries, access points, driveways, parking areas, rainwater tanks and any natural features (vegetation and waterways)



Floor Plan and Elevations - Required

Detailed floor plans of the proposed development
Elevations showing the height and external appearance



Stormwater and Servicing Plan - Required

Details on how stormwater will be managed on-site
Information about connections to utilities (water, sewer, electricity)
Elevations showing the height and external appearance of all water tanks



Landscaping Plan - if applicable

Details of existing vegetation to be retained or removed



Supporting Reports and Assessments - if applicable

Bushfire Hazard Management Plan and Report
Traffic Impact Assessment
Natural Values Assessment
Onsite Wastewater Assessment

Dated:

29/08/25

Signed:



Please note the following:

Application fees will be invoiced upon initial assessment, this is within 4 business days of submission.
If this application results in building works occurring on the property, applicant and/or owner information including name and contact details will be provided to the Office of the Valuer General for the purpose of undertaking a valuation inspection of the property / building works.

POTENTIALLY CONTAMINATING ACTIVITIES	
Agricultural Fertiliser Manufacture	Metal Founders
Asbestos Production and Manufacture	Metal Sprayers
Battery Manufacture and Recycling	Metal Treatments and Picklers
Chemical Manufacture or Formation	Mining and Extractive Industries
Defence Establishments and Training Areas	Pest Controllers (being areas where pest control chemicals are stored or vehicles and tanks used in connection with pest control are washed.)
Drum Reconditioning Wastes	Petroleum and Petrochemical Industries
Dry Cleaning Establishments	Pharmaceutical Manufacture or Formation
Electroplating	Printers
Explosives Production and Storage	Railway Yards
Fuel Depots and Storage Areas	Sanitary and Refining
Galvanisers	Scrap Yards
Gas Works	Service Stations
Gun, Pistol and Rifle Clubs	Smelting and Refining
Hazardous Waste Landfills	Tannery or Fellmongery or Hide Curing Works
Industrial Cleaners	Wood Treatment and Preservation Sites
Lime Burners	

SEARCH OF TORRENS TITLE

VOLUME 175720	FOLIO 1
EDITION 2	DATE OF ISSUE 21-Sep-2021

SEARCH DATE : 06-Feb-2025

SEARCH TIME : 12.21 PM

DESCRIPTION OF LAND

Parish of LORAINAH Land District of PEMBROKE
 Lot 1 on Plan 175720
 (excepting Lot 11 on Plan 36179)
 Derivation : Part of Lot 6475 Gtd to JE Risby
 Prior CT 82637/1

SCHEDULE 1

M914596 TRANSFER to Registered
 21-Sep-2021 at noon

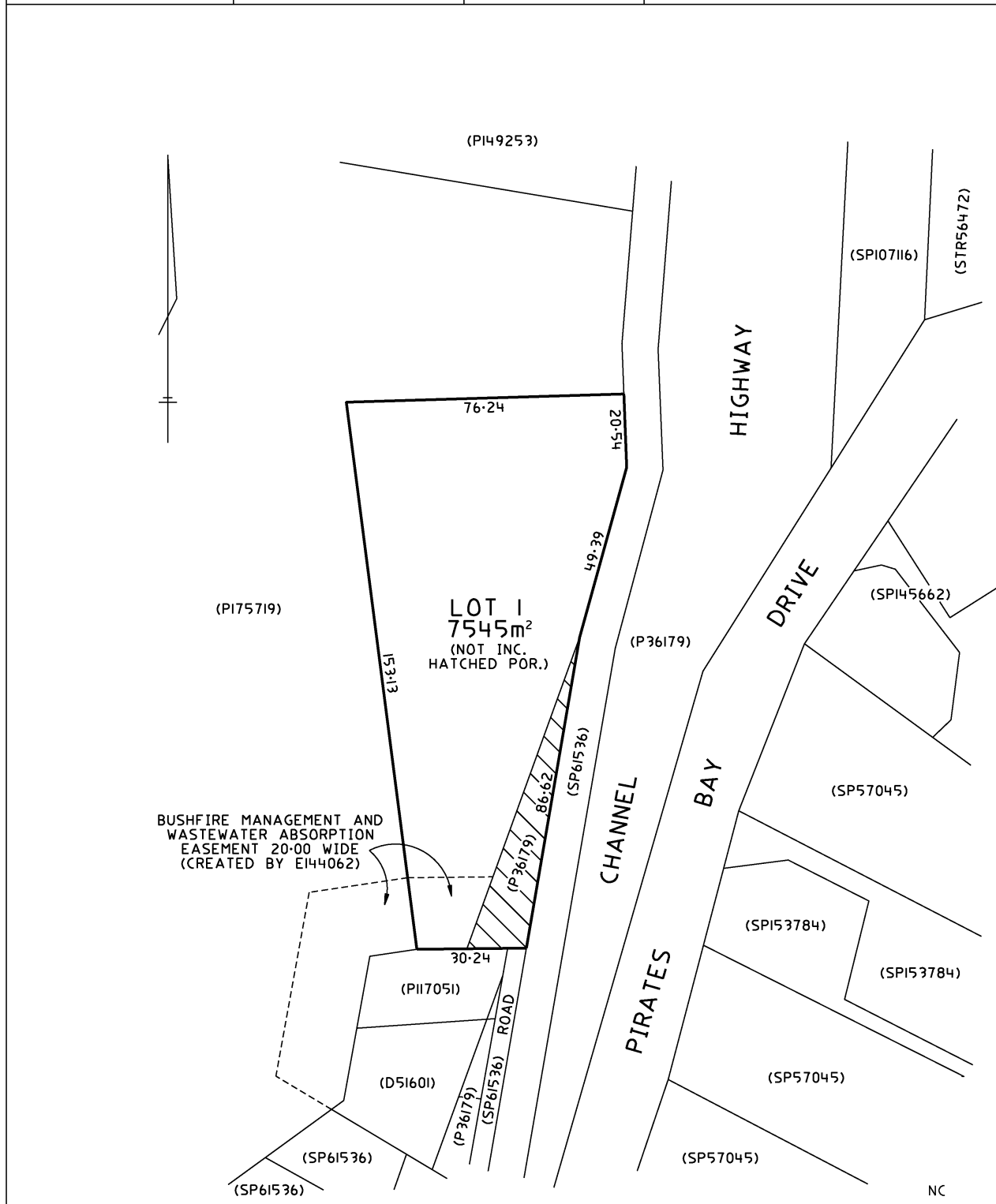
SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 E144062 BURDENING EASEMENT: a right of bushfire management
 easement and a right of wastewater absorption
 easement (appurtenant to Lot 1 on Plan 117051) over
 the land marked Bushfire Management and Wastewater
 Easement 20.00 wide on Plan 175720 Registered
 28-Aug-2018 at 12.03 PM
 B231426 APPLICATION by the Crown PARTIAL CANCELLATION of
 Portion of the above land (Lot No. 11 36179) See C.T.
 Vol. 4550 Fol. 44 Registered 17-Mar-1989 at noon
 B694774 Proclamation under Section 52A of the Roads and
 Jetties Act 1935 Registered 15-Oct-1993 at noon

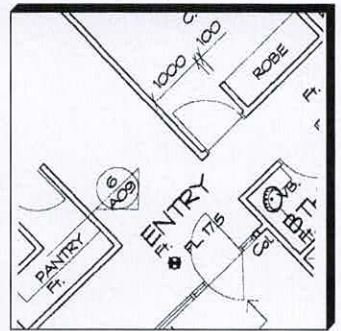
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER FOLIO REFERENCE F.R.82637/1 GRANTEE PART OF LOT 6475, 59 ACRES GTD TO JOSEPH EDWARD RISBY		PLAN OF TITLE LOCATION PEMBROKE - LORAINAH FIRST SURVEY PLAN No. 436/30 D COMPILED BY LTO SCALE 1: 1000 LENGTHS IN METRES		Registered Number P.175720 APPROVED 16 AUG 2018 <i>Alice Kawa</i> Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 126 (5623)	LAST UPI No	LAST PLAN No. D82637	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	



Planning Department
Tasman Council
1713 Main Road
Nubeena 7184



Dear Sir/Madam,

Re: DA 77/2025 Dwelling and Outbuilding – 5018 Arthur Hwy.,
Eaglehawk.

In response to the Request for Further Information letter dated
23/09/25, please find below and attached additional information.

1. Please find attached written consent from the Department of State Growth for Crown Landowner Consent for access. This document was emailed to the council on the 27/10/2025.
2. In response to Clause 6.1 – stormwater servicing. Please see attached Sk01/A revised drawing showing stormwater servicing both dwelling/carport and driveway. All roof stormwater will be connected to the two stormwater tanks. The overflow will connect into the stormwater line which in turn will collect driveway run-off and be disposed to the existing road culvert via a head wall. The stand alone fire fighting tank will be filled by separate water truck prior to occupation.
3. In response to C7.0 Natural Assets Code
The dwelling, carport, driveway location has been positioned on site to provide least disturbance but also provide views for the dwelling, privacy from the road and turning areas for both during construction and when completed. The dwelling is positioned in the BAL 29 area. The letter may have meant to read a preference to BAL 19. Whilst we take this on board, there would be tree removal to locate the dwelling, more expense in construction for height and tighter turning and access.
4. The preference is to preserve as many blue gums on site as possible. The owners have indicated that they preferred to retain the habitat as much as possible.
5. In regard to the design of the house and large window areas, all windows and doors shall be grey tint non reflective glass for bird strike protection. This treatment is described in the document 'Minimising the Swift Parrot Collision Threat Guidelines. Refer to Drawing Sk03/A for updated notes.

I will await councils review and processing.

Kind Regards,

Kevin Roberts
Tas Building Design Pty. Ltd.
28/10/2025

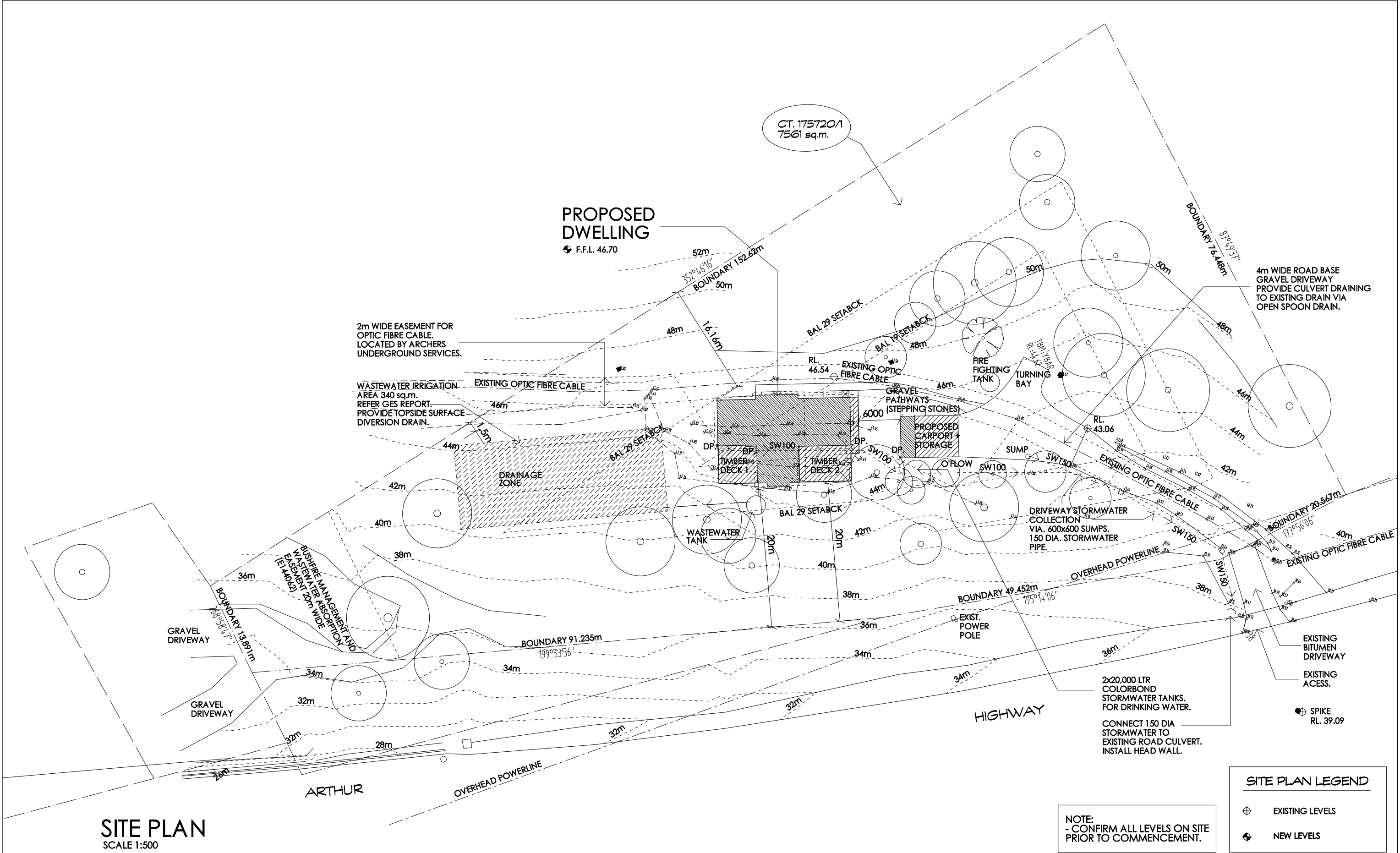
TAS BUILDING DESIGN

m. 0408 882 283

e. tas.buildingdesign@bigpond.com

a. po box 2018
howrah 7018

residential
commercial



REVISION A: - 28/10/25
- STORMWATER ADDED TO DRIVEWAY AND
CONNECTION TO ROAD CULVERT.

creative practical design solutions

TAS BUILDING DESIGN Pty Ltd

residential commercial

m. 0408 882283
a. p.o.box 2018 howrah 7018
e. tas.buildingdesign@bigpond.com

cc 652

Project and Address:
**Proposed Dwelling at
5018 Arthur Hwy.,
Eaglehawk Neck.**

Client:

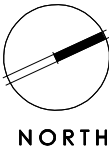
Drawing Title:
Site Plan

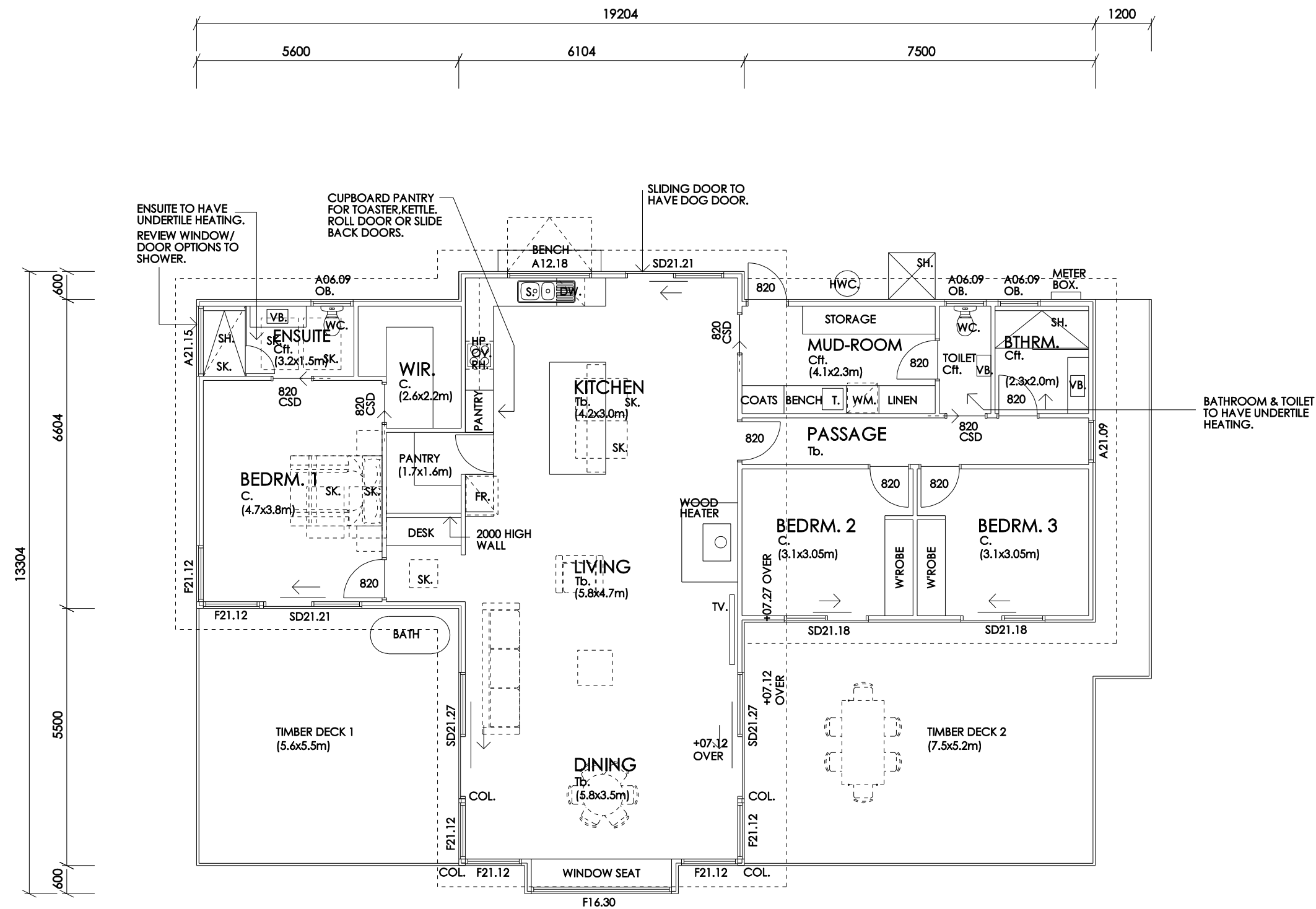
© COPYRIGHT
This document is the property of Kevin Roberts (designer).
Any reproduction without permission of design and drawings is
strictly prohibited.

Please note: - Verify all dimensions on site. Figured
dimensions take precedence over scale readings.

Plot Date: 28/10/2025	Drawn: KJR
Approval: preliminary	Scale: 1:500 @ A3

Project No.: 25.07	Rev. A
Drawing No.: sk01	





FLOOR PLAN
SCALE 1:100

TOTAL FLOOR AREA:- 168 sq.m, 18.0 sq.
TIMBER DECK AREA:- 79 sq.m.

FLOOR PLAN LEGEND	
	142mm EXTERNAL STUD+ COLORBOND WALLS
	90mm STUD WALLS.
C.	CARPET
Cft.	CERAMIC FLOOR TILES
Tb.	TIMBER FLOOR

creative practical design solutions

TAS BUILDING DESIGN Pty. Ltd.

Kevin J. Roberts

m. 0408 882283

a. p.o.box 2018
howrah 7018

e. tas.buildingdesign@bigpond.com

cc 652

residential
commercial

© COPYRIGHT
This document is the property of Kevin Roberts (designer).
Any reproduction without permission of design and drawings is
strictly prohibited.

Project and Address:
Proposed Dwelling at
5018 Arthur Hwy.,
Eaglehawk Neck.

Drawing Title:
Floor Plans

Please note: - Verify all dimensions on site. Figured
dimensions take precedence over scale readings.

Plot Date: 29/08/2025	Drawn: KJR
Approval: preliminary	Scale: 1:100 @ A3

	Project No.:	25.07
	Drawing No.:	sk02
	Rev.	-

COLORBOND CUSTOM
ORB ROOF SHEETING.

ceiling level

POWDERCOATED ALUMINIUM
FIXED WINDOWS.

EXISTING GROUND
LINE SHOWN DOTTED.

floor level

FALL

EXISTING GROUND
LINE.

EAST ELEVATION
SCALE 1:100

POWDERCOATED ALUMINIUM
SLIDING DOORS.
COLORBOND CUSTOM ORB
WALL CLADDING.

90 SHS
COLUMNS.

FALL

ceiling level

POWDERCOATED ALUMINIUM
SLIDING DOORS.

floor level

90 SHS COLUMNS.

EXISTING GROUND
LINE.

NORTH ELEVATION
SCALE 1:100

COLORBOND CUSTOM
ORB ROOF SHEETING.

COLORBOND CUSTOM ORB
WALL CLADDING.

FALL

ceiling level

floor level

FALL

WEST ELEVATION
SCALE 1:100

POWDERCOATED ALUMINIUM
SLIDING DOOR.
OPTION FOR DOOR
TO BE HIDDEN WITHIN
TIMBER PANELLING.

COLORBOND CUSTOM
ORB ROOF SHEETING.

FALL

COLORBOND
GUTTERS & FASCIAS.

ceiling level

floor level

FALL

SOUTH ELEVATION
SCALE 1:100

GLASS BALUSTRADE.

FALL

NOTE-
ALL WINDOWS AND DOORS TO HAVE GREY TINT
NON-REFLECTIVE GLASS FOR BIRD STRIKE
PROTECTION.

REVISION A: - 28/10/25
- NOTE ADDED IN RELATION TO
TINTING OF WINDOWS AND DOORS.

creative practical design solutions

TAS BUILDING DESIGN Pty. Ltd.

Kevin J. Roberts

m. 0408 882283

a. p.o.box 2018
howrah 7018

e.
tas.buildingdesign@bigpond.com

cc 652

residential
commercial

© COPYRIGHT

This document is the property of Kevin Roberts (designer).
Any reproduction without permission of design and drawings is
strictly prohibited.

Project and Address:

Proposed Dwelling at
5018 Arthur Hwy.,
Eaglehawk Neck.

Client:

Drawing Title:

Elevations

Please note: - Verify all dimensions on site. Figured
dimensions take precedence over scale readings.

Plot Date: 28/10/2025

Drawn: KJR

Approval: preliminary

Scale: 1:100 @ A3

Project No.:

25.07

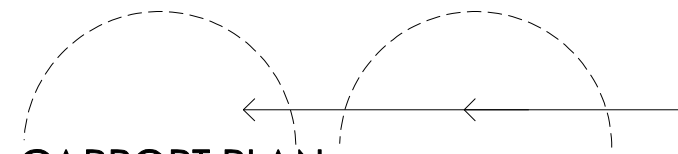
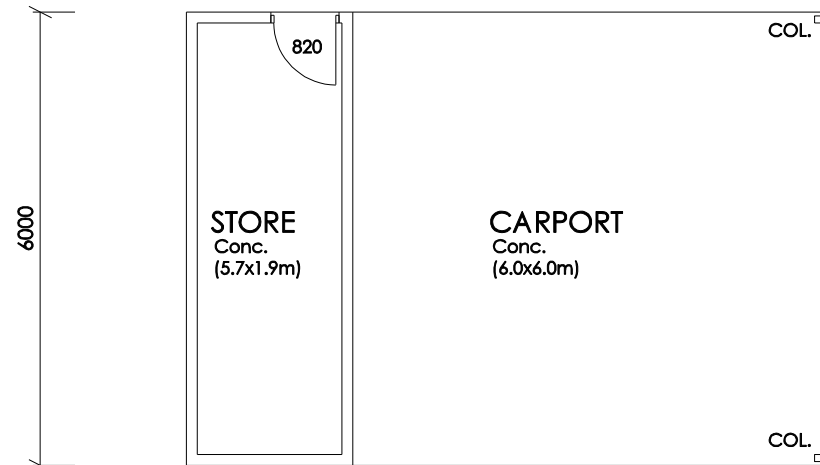
Drawing No.:

sk03

Rev.

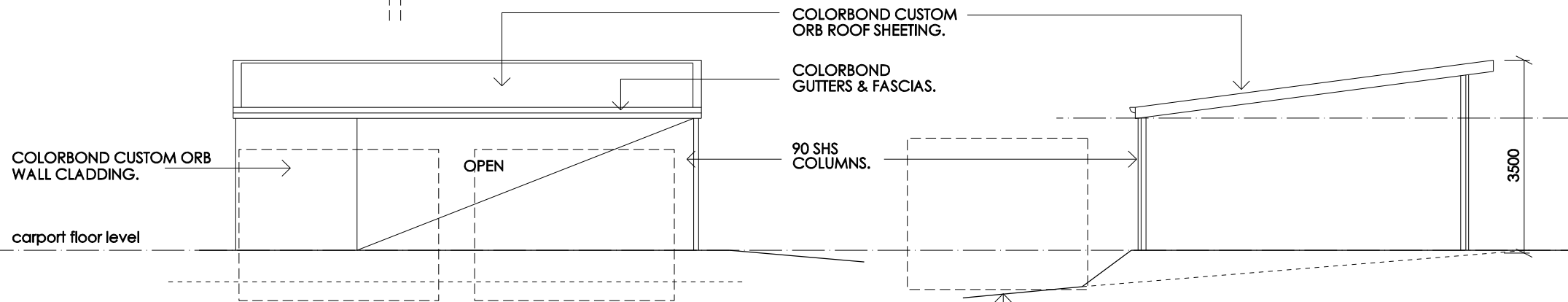
A

2200 6200



CARPORT PLAN
SCALE 1:100

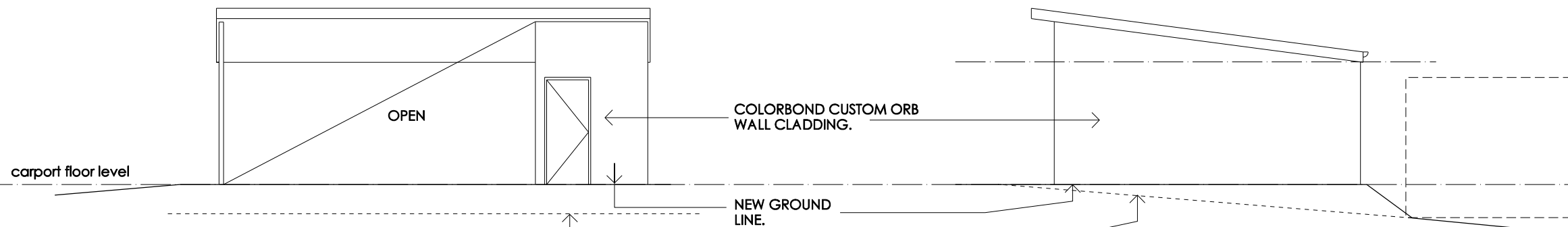
CARPORT AREA:- 36 sq.m.
STORE AREA:- 13 sq.m.



EAST ELEVATION
SCALE 1:100

EXISTING GROUND
LINE.

NORTH ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100

NEW GROUND
LINE.

EXISTING GROUND LINE
SHOWN DOTTED.

SOUTH ELEVATION
SCALE 1:100

creative practical design solutions

TAS BUILDING DESIGN Pty. Ltd.

Kevin J. Roberts

m. 0408 882283
a. p.o.box 2018
howrah 7018
e. tas.buildingdesign@bigpond.com

cc 652

residential
commercial

© COPYRIGHT
This document is the property of Kevin Roberts (designer).
Any reproduction without permission of design and drawings is
strictly prohibited.

Project and Address:
**Proposed Dwelling at
5018 Arthur Hwy.,
Eaglehawk Neck.**

Client:

Drawing Title:
Carport Plan & Elevations

Please note: - Verify all dimensions on site. Figured
dimensions take precedence over scale readings.

Plot Date: 29/08/2025

Drawn: KJR

Approval: preliminary

Scale: 1:100 @ A3

Project No.:

25.07

Drawing No.:

sk04

Rev.

-