

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval under the Land Use Planning and Approvals Act 1993, for the following development(s):

NUMBER:	DA 73 / 2025
ADDRESS:	19 Olsons Rd, Eaglehawk Neck (CT: 63689/8)
DESCRIPTION:	Residential – Alterations and Additions to a Dwelling

All plans and documents submitted with the application can be inspected at the Tasman Council Office, Monday to Friday from 8:30am to 4:30pm. In addition to the statutory requirements, some documents, relevant to the assessment of the application are available on the council website by following this link:

<https://tasman.tas.gov.au/advertised-applications/>, by using the QR Code below, or they are available in hard copy upon request by calling Council on (03) 6250 9200 or email tasman@tasman.tas.gov.au during the period for which representations may be made, until **30th October 2025**

Any person may make a representation relating to the application. Representations are to be made in writing addressed to the General Manager, Tasman Council, 1713 Main Road, Nubeena TAS 7184 or by email to tasman@tasman.tas.gov.au and will be received no later than **30th October 2025** Late representations will not be considered.

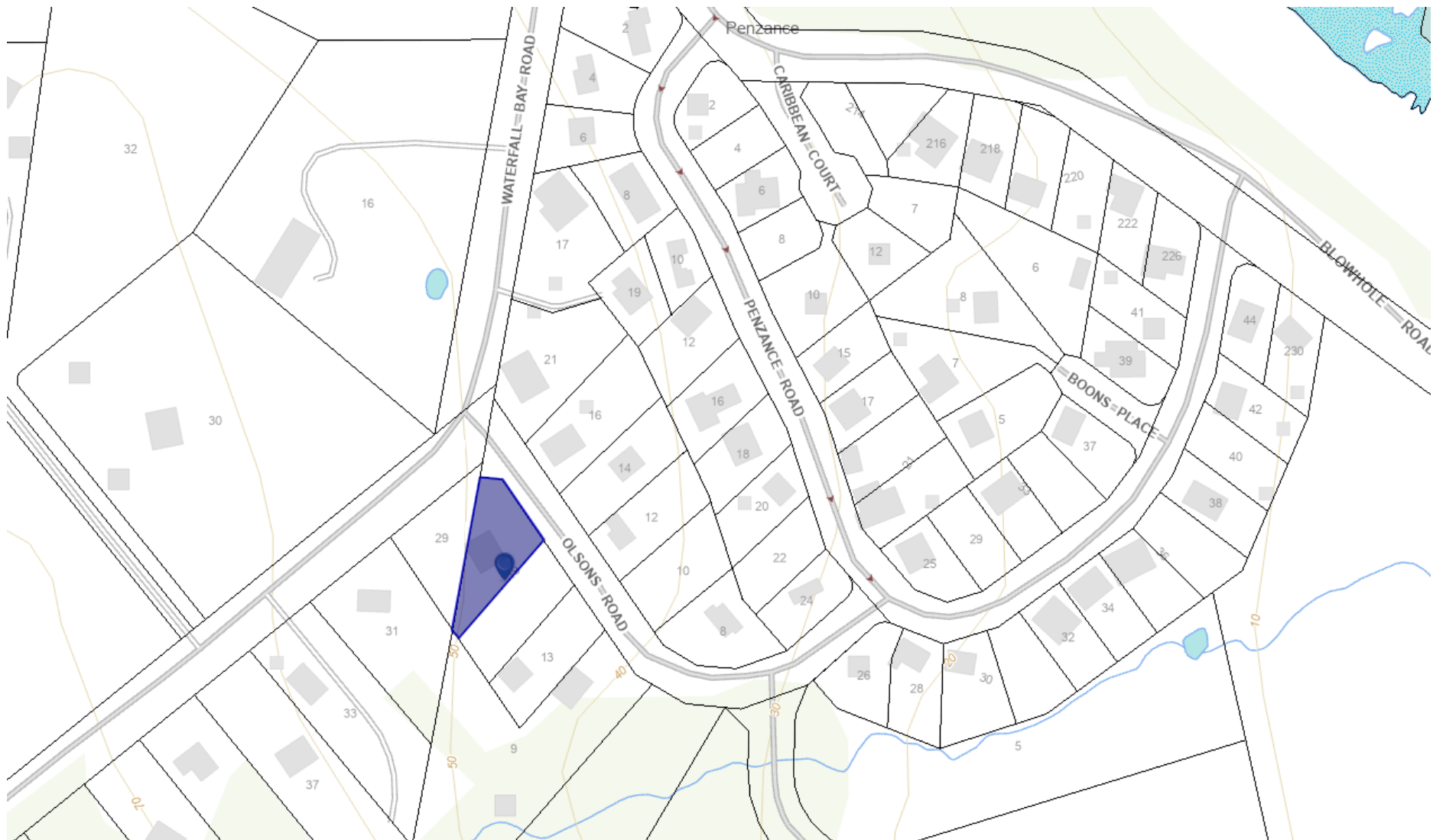


A handwritten signature in black ink, appearing to read 'Blake Repine'.

Blake Repine
General Manager
Date: 16 October 2025

DA 73 / 2025 – 19 Olsons Rd, Eaglehawk Neck (CT: 63689/8) – The relevant plans and documents can be inspected at the Council Offices at 1713 Main Road, Nubeena during normal office hours, or the plans may be viewed on Council's website at www.tasman.tas.gov.au until the date representations close 30 October 2025.

The below image was sourced from The List: <https://maps.thelist.tas.gov.au/listmap/app/list/map>



TASMAN COUNCIL

A Natural Escape

Application for Planning Permit



The personal information requested on this form is being collected by council for purpose set out in the title of the form. The personal information will be used solely by council for the primary purpose or directly related purposes. The applicant understands that personal information is provided for the above mentioned function and that he/she may apply to council for access to and/or amendment of the information. If an application is made under Section 57 of the Land Use Planning and Approvals Act 1993, a copy of the lodgement documents must be made available for any person to inspect during public notification. Please note that any information, reports and plans submitted with an application are treated as public documents and may be reproduced for representatives, referral authorities and any other persons/bodies interested in the proposal. Requests for access or correction should be made to Tasman Council's Customer Service Officer.

APPLICANT DETAILS*

FULL NAME	G. Hines & PARTNERS ARCHITECTS		
POSTAL ADDRESS		POSTCODE	
PHONE (BUSINESS HOURS)		MOBILE:	
EMAIL			

NOTE: All Council correspondence will be emailed

OWNERS DETAILS (IF DIFFERENT TO APPLICANT DETAILS)*

ENSURE OWNER DETAILS MATCH THE CURRENT CERTIFICATE OF TITLE

FULL NAME			
POSTAL ADDRESS		POSTCODE	
PHONE (BUSINESS HOURS)		MOBILE	

DESCRIPTION OF PROPOSED DEVELOPMENT*

☐ New Dwelling	☒ Extension/ Addition	DECK REMOVAL & NEW
☐ New Shed/ Outbuilding	☐ Demolition	
☐ Subdivision	☐ Visitor Accommodation	
☐ Change of Use	☐ Other (please specify – right)	
☐ Commercial/ Industrial Building		

Are any of the components in this application seeking retrospective approval?
E.g. Use and/or development that has commenced without a planning permit.
(If yes, please specify the relevant components)

☐ Yes

☒ No

PRESENT USE OF LAND/ BUILDING(S)

DWELLING

ADDRESS: 1713 Main Road, NUBEENA TAS 7184 | PHONE: (03) 6250 9200

EMAIL: tasman@tasman.tas.gov.au | WEB: www.tasman.tas.gov.au

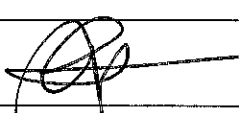
ABN: 63 590 070 717

LOCATION OF PROPOSED DEVELOPMENT*

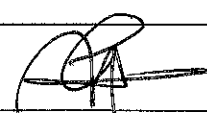
ADDRESS	19 OLSON'S RD, GAZZLE HAWK NECK		
CERTIFICATE OF TITLE	63689	LOT NUMBER	8
FLOOR AREA			
Existing floor area (square metres):	93.5	Proposed floor area (square metres):	48.49 DECK
CAR PARKING			
Number existing	2	Number proposed	2

SITE CONTAMINATION*	
Have any potentially contaminating uses been undertaken on this site? (Refer to list provided on page 5)	☐ Yes ☒ No
TASMANIAN HERITAGE OR ABORIGINAL HERITAGE REGISTER*	
Is this property on the Tasmanian Heritage or Aboriginal Heritage Register?	☐ Yes ☒ No
VEGETATION REMOVAL*	
Does the proposal require any vegetation removal? If yes, provide details on the site plan.	☐ Yes ☒ No
VALUE (mandatory field)	
Value of work (inc. GST)	\$ 120,000

DECLARATION BY APPLICANT*

I/ we declare that the information given is a true and accurate representation of the proposed development; and I/ we am/ are liable for the payment of Council application processing fees, even in the event of the development not proceeding; and I/ we authorise Tasman Council to provide a copy of my documents relating to this application to any person for the purpose of assessment and public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.	
SIGNATURE OF APPLICANT	
NAME OF APPLICANT (PLEASE PRINT)	GRAHAM HILLS RAIA
DATE	26/8/2025.

DECLARATION IF APPLICANT IS NOT THE OWNER

I hereby declare that I am the applicant for the development at the address detailed in this application for a planning permit, and that I have notified the owner/s of the land for which I am making this application, in accordance with Section 52(1a) of the Land Use Planning and Approvals Act 1993.	
SIGNATURE OF APPLICANT	
NAME OF APPLICANT (PLEASE PRINT)	GRAHAM HILLS RAIA
DATE	26/8/2025
NAME/S OF OWNER/S NOTIFIED	
DATE	26/8/2025

DECLARATION IF LAND IS COUNCIL OR CROWN LAND

If the land that is the subject of this application is owned or administered by either the Crown or Tasman Council, the consent of the Minister of the Crown or the General Manager of the Council, whichever is applicable, must be included here. This consent should be completed and signed by either the Minister, the General Manager of Tasman Council, or their delegate (as specified in Subsections 52(1d-1g) of the <i>Land Use Planning and Approvals Act 1993</i>).	
DECLARATION	I, _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application.
SIGNATURE OF MINISTER/ GENERAL MANAGER	
DATE	

NON-RESIDENTIAL DEVELOPMENTS

Note: This section must be completed for all applications for non-residential uses, home occupations and domestic/ residential businesses or other managed/ commercial residential uses (e.g. hostel or motel).

HOURS OF BUSINESS			
CURRENT		PROPOSED	
Monday to Friday		Monday to Friday	
Saturday		Saturday	
Sunday		Sunday	
NUMBER OF EMPLOYEES			
CURRENT		PROPOSED	
Total Employees		Total Employees	
Employees on Site		Employees on Site	
PLANT/ MACHINERY			
Is there any large plant or machinery that would need to be installed or used on site such as refrigeration units and generators? (If yes, please list below the type of machinery and ensure location, dimensions etc are clearly marked on your plans.)			☐ Yes ☐ No
OUTDOOR STORAGE/ SEATING/ NUMBER OF BEDS			
Is outdoor storage proposed? (If yes, please ensure that your plans show where the outdoor storage areas are and what type of goods are stored. This information will help us assess the impact of the proposal on the amenity.)			☐ Yes ☐ No
If you are proposing a night club, café or the like, what is the number of seats proposed including the capacity at any bar area?		Please ensure that the arrangements are shown on your plans. This information enables us to assess the car parking arrangements.	
If you are proposing a hotel, motel, visitor accommodation, hostel or the like, what is the number of beds proposed?		Please ensure the beds are clearly indicated on your plans. This information enables us to assess the car parking arrangements.	
GOODS DELIVERIES			
Will there be any goods deliveries to and from the site? (If yes, please estimate the number and type of vehicles and how often they will make trips.)			☐ Yes ☐ No
Type and Size of Vehicle		Number of Vehicles on Site	
Trip Frequency per Month			

PLANNING PERMIT – APPLICATION CHECKLIST

To ensure that we can process your application as quickly as possible, please read the following checklist carefully to ensure that you have provided the following at the time of lodging the application. If you are unclear on any aspect of your application, please phone (03) 6250 9200 to discuss or arrange an appointment concerning your proposal. Note that, in accordance with Section 54 of the *Land Use Planning and Approvals Act 1993*, Council may require additional information.

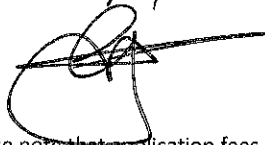
Please complete the below checklist

- ☒ **Completed Application Form**
 - All sections and filled out correctly and owner details match those listed on the title documents
 - Application form includes a detailed cost estimate of the proposal
- ☐ **Written Submission**
 - Description of the proposed development
 - Justification addressing the Performance Criteria (if applicable)
- ☒ **Title Documents**
 - Current copy of the Certificate of Title (Folio Plan and Text Page)
 - Copies of any restrictive covenants, easements, or other relevant documents.
- ☒ **Site Plan**
 - Drawn to scale
 - Shows the location of the proposed development
 - Includes existing structures, property boundaries, access points and any natural features (vegetation and waterways)
- ☒ **Floor Plan and Elevations**
 - Detailed floor plans of the proposed development
 - Elevations showing the height and external appearance
- ☒ **Stormwater and Servicing Plan**
 - Details on how stormwater will be managed on-site
 - Information about connections to utilities (water, sewer, electricity)
 - Elevations showing the height and external appearance
- ☐ **Landscaping Plan (if applicable)**
 - Details of existing vegetation to be retained or removed
- ☐ **Supporting Reports and Assessments (if applicable)**
 - Bushfire Hazard Management Plan and Report
 - Traffic Impact Assessment
 - Natural Values Assessment
 - Onsite Wastewater Assessment

Dated:

27/8/2025

Signed:

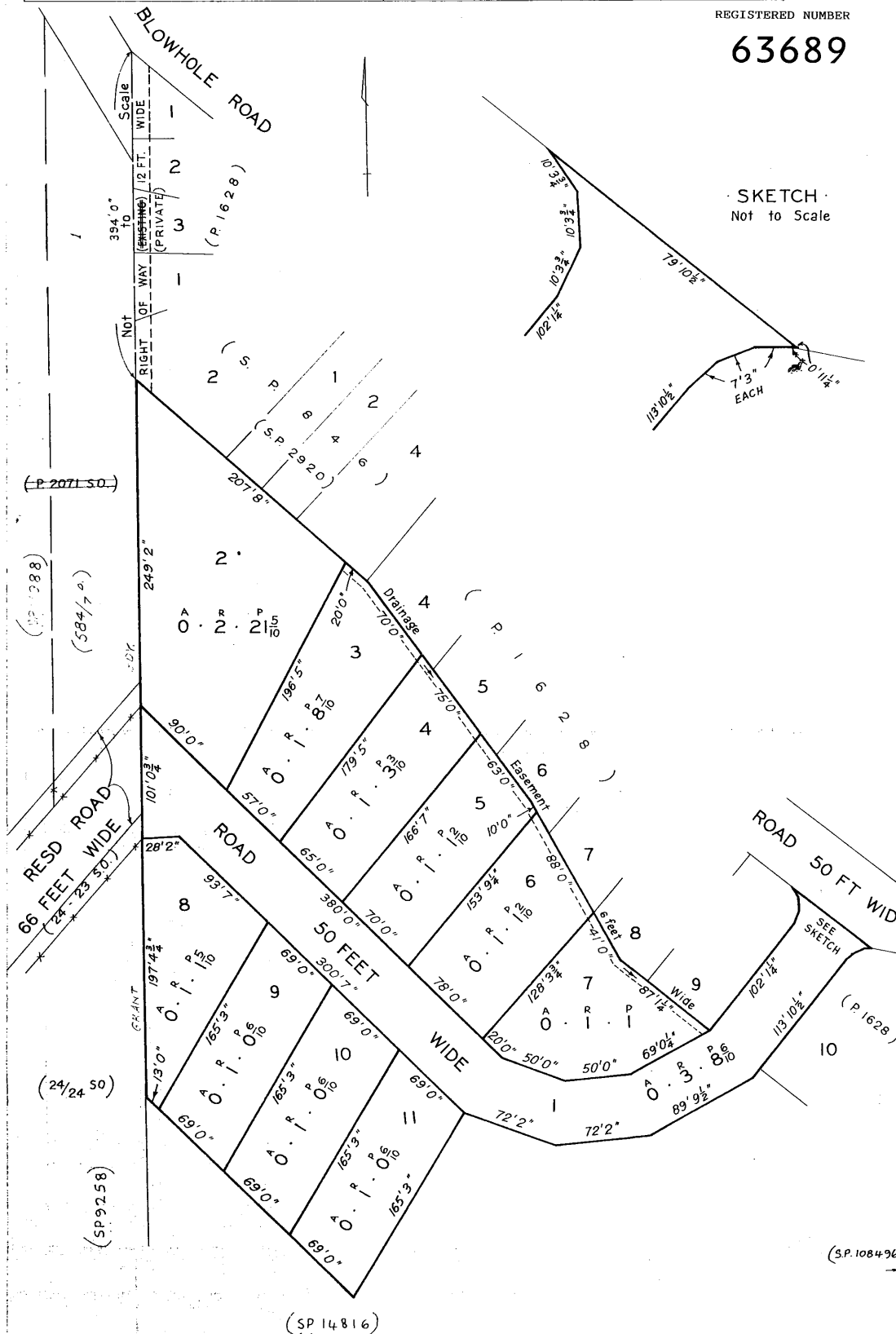


Please note that application fees will be invoiced upon initial assessment.
Planning application assessment fees excluding subdivision assessment:

Owner: Penzance Holiday Chalets Pty. Ltd.	PLAN OF SURVEY by Surveyor M. G. Darcey of land situated in the	Registered Number: S.P.3674
Title Reference: C.T. 703 - 50	LAND DISTRICT OF PEMBROKE PARISH OF TARANNA	Effective from 107403
Grantee: Part of Lot 24864 (A R P) Eric William Ball	Scale 60 feet to an inch	Recorder of Titles

REGISTERED NUMBER

63689



7



SCHEDULE OF EASEMENTS

PLAN NO.

S.P.3674

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS:

om **Right of Carriageway**
Lot 2 is:

om **TOGETHER WITH** a right-of-carriage-way over the right-of-way ^{Private} ~~(existing)~~ 12' wide as shown on the said plan

om **Rights of Drainage**

Each lot on the plan is together with such rights of drainage over the drainage easements shown on the plan as may be necessary to drain the stormwater and other surplus water from such lot.

Each lot on the plan is subject to such rights of drainage over the drainage easements (if any) shown on the plan as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan

om { The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows

THE COMMON SEAL of PENZANCE HOLIDAY CHALET'S)

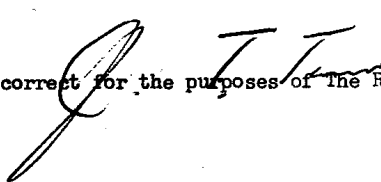
PROPRIETARY LIMITED was hereunto affixed)

in the presence of:



Director


SECRETARY


Certified correct for the purposes of The Real Property Act 1862

This is the schedule of easements attached to the plan of Lot 2

.....comprising part of the land in

Certificate of Title Volume 703 Folio 50

(Insert Title Reference)

Sealed by *The Municipality of Tasmania* on *12th March 1971*

[Signature]
Council Clerk/Town Clerk

21022

P R O P O S E D N E W D E C K

for:

at: 19 Olsons Rd, EAGLEHAWK NECK

Project No. **22539**

Date: Jul. 2025

DESIGN DEVELOPMENT DRAWINGS

Drawing Schedule

DD01	Existing Site Plan
DD02	Proposed Site Plan
DD03	Existing Ground Floor Plan
DD04	Existing Upper Floor Plan
DD05	Existing Elevations 1
DD06	Existing Elevations 2
DD07	Proposed Ground Floor Plan
DD08	Proposed Upper Floor Plan
DD09	Proposed Elevations 1
DD10	Proposed Elevations 2
DD11	Proposed Roof Plan

Prepared by:

G.Hills&Partners ARCHITECTS

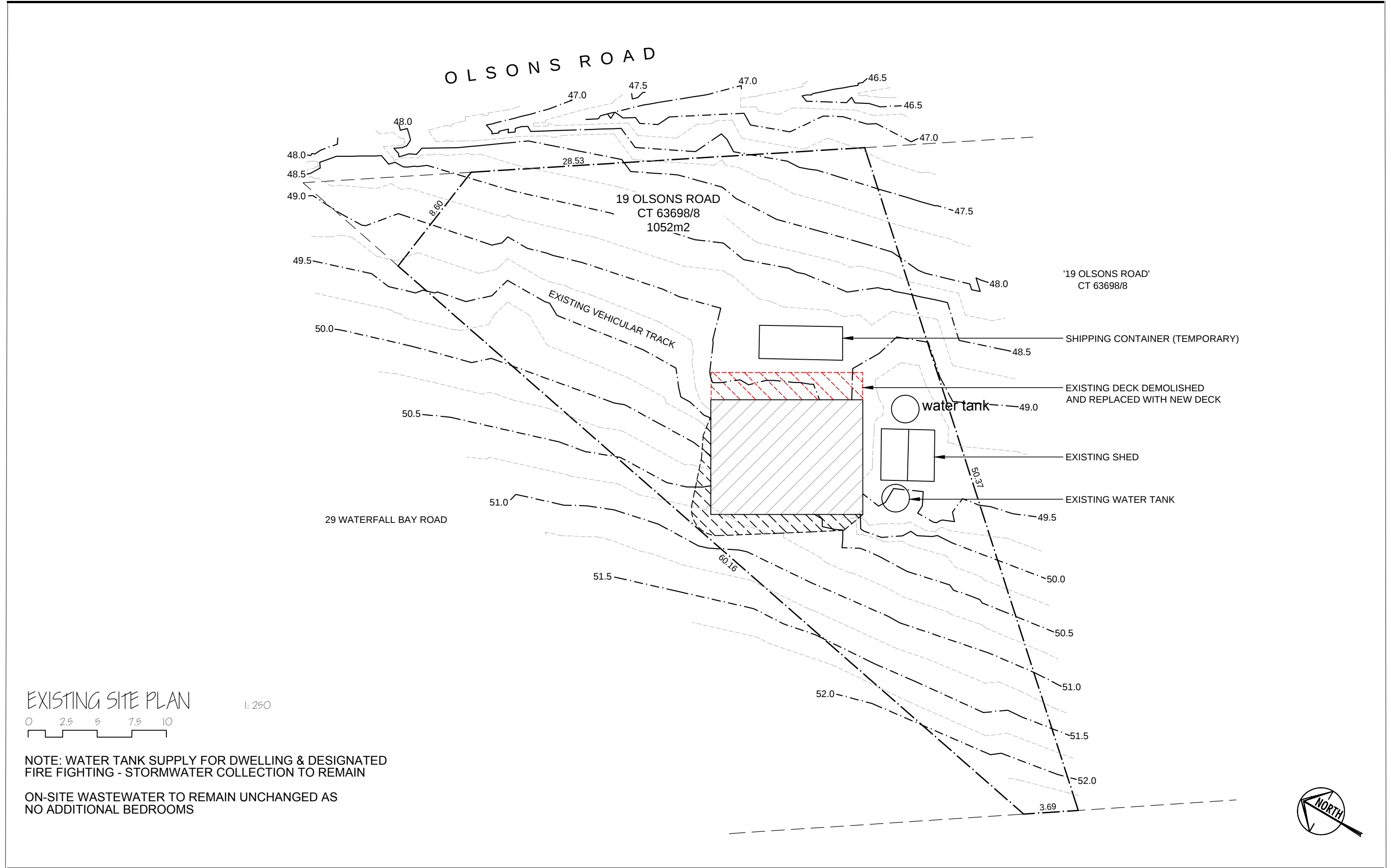


P.O. Box 910, Kingston, Tas 7051

Ph: (03) 6229 1799 Mob: 0419 883 370

Email: graham.hills@bigpond.com

Tas Building Practitioner No. CC2367B



EXISTING SITE PLAN



1: 250

NOTE: WATER TANK SUPPLY FOR DWELLING & DESIGNATED FIRE FIGHTING - STORMWATER COLLECTION TO REMAIN

ON-SITE WASTEWATER TO REMAIN UNCHANGED AS NO ADDITIONAL BEDROOMS

NOTES:
* Do not scale the drawings.
* Verify levels / dimensions on site prior to commencement, report any discrepancies / variations to designer.
* Materials / workmanship to comply with AS codes, BCA & relevant regulations.

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REVISION NOTES		
No.	Revision/Issue	Date

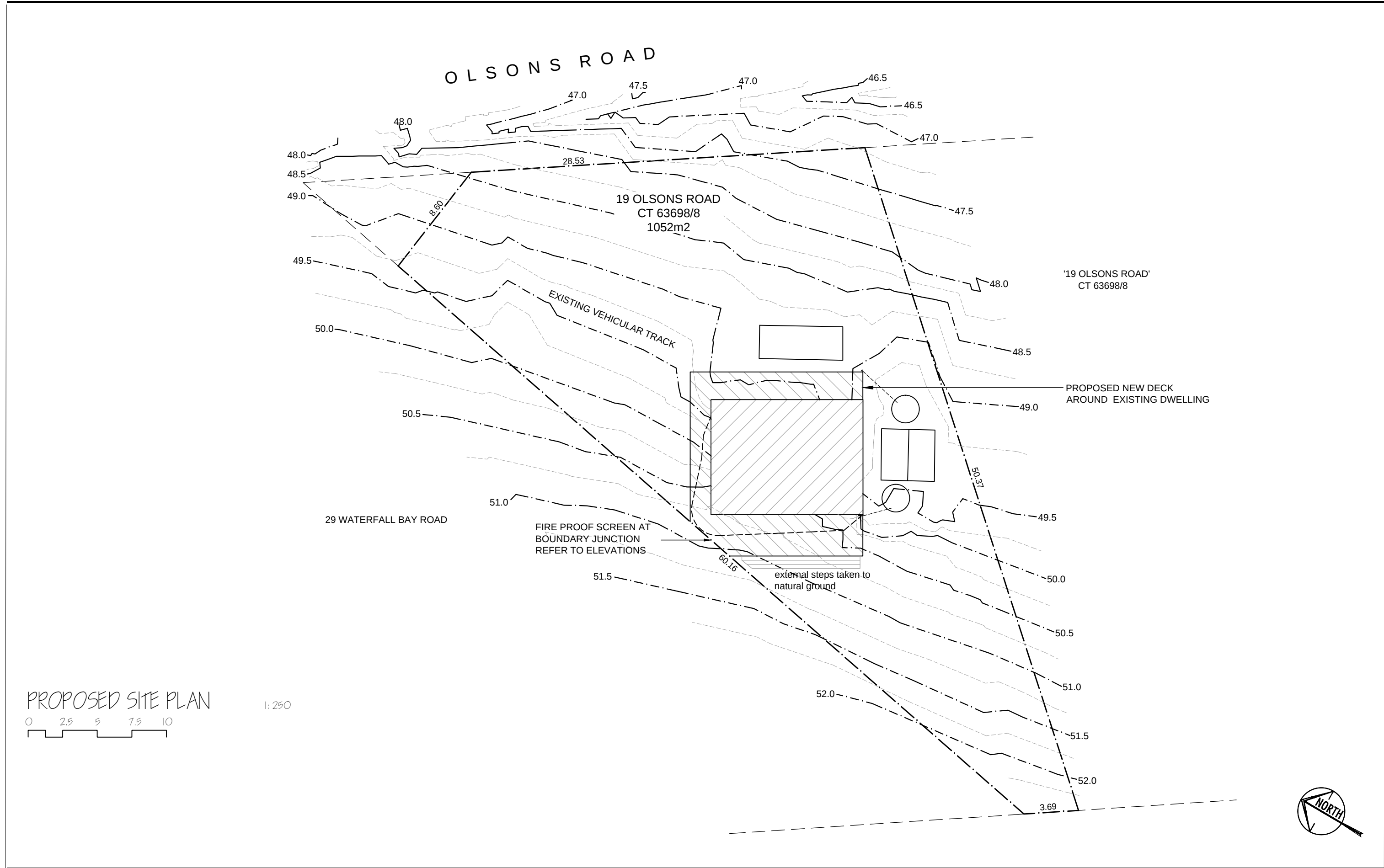
G.Hills&Partners ARCHITECTS

PO Box 910, KINGSTON, TAS 7051
P 03 6229 1799 E graham.hills@bigpond.com
Building Designer Accreditation No. CC2367B

Project Name and Address
PROPOSED NEW DECK
19 Olsons Rd, EAGLEHAWK NECK

Drawing Title
EXISTING SITE PLAN
Client

DRAWING TYPE Design Dev' Drawings		PROJECT No. 22539	
Date 26-Jul-25	SHEET DD01	CHECKED G. HILLS	DESIGN G. HILLS
Scale 1:250	Size A3	DRAWN M. Kamankesh	



PROPOSED SITE PLAN

1: 250

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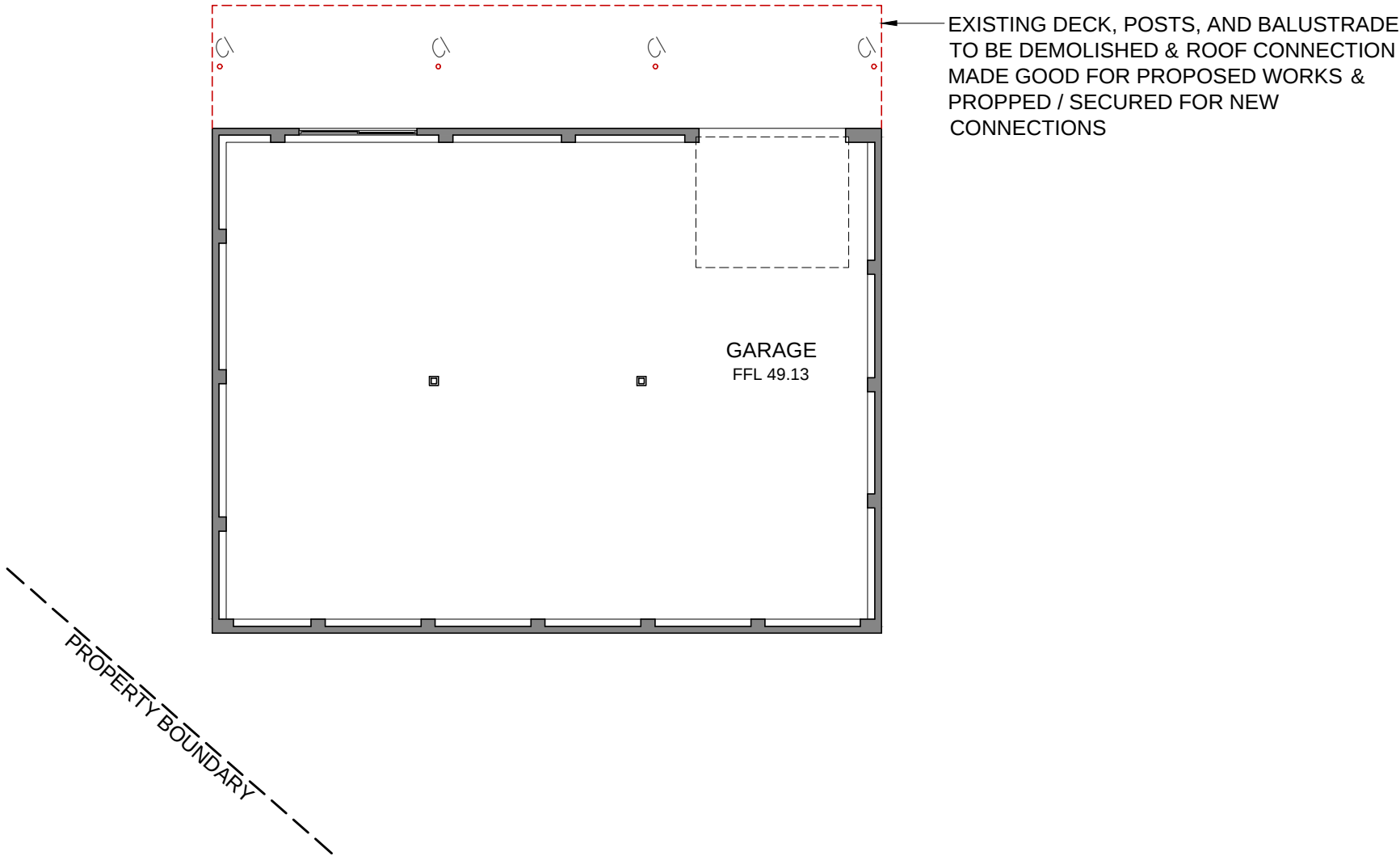
P 03 6229 1799 E graham.hills@bigpond.com

Building Designer Accreditation No. CC2367B

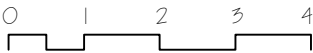
Project Name and Address
PROPOSED NEW DECK
19 Olsons Rd, EAGLEHAWK NECK

Drawing Title
PROPOSED SITE PLAN
Client

DRAWING TYPE		PROJECT No.	
Design Dev' Drawings		22539	
Date	26-Jul-25	SHEET	DD02
Scale	1:250	CHECKED	G. HILLS
Size	A3	DESIGN	G. HILLS
		DRAWN	M. Kamankesh



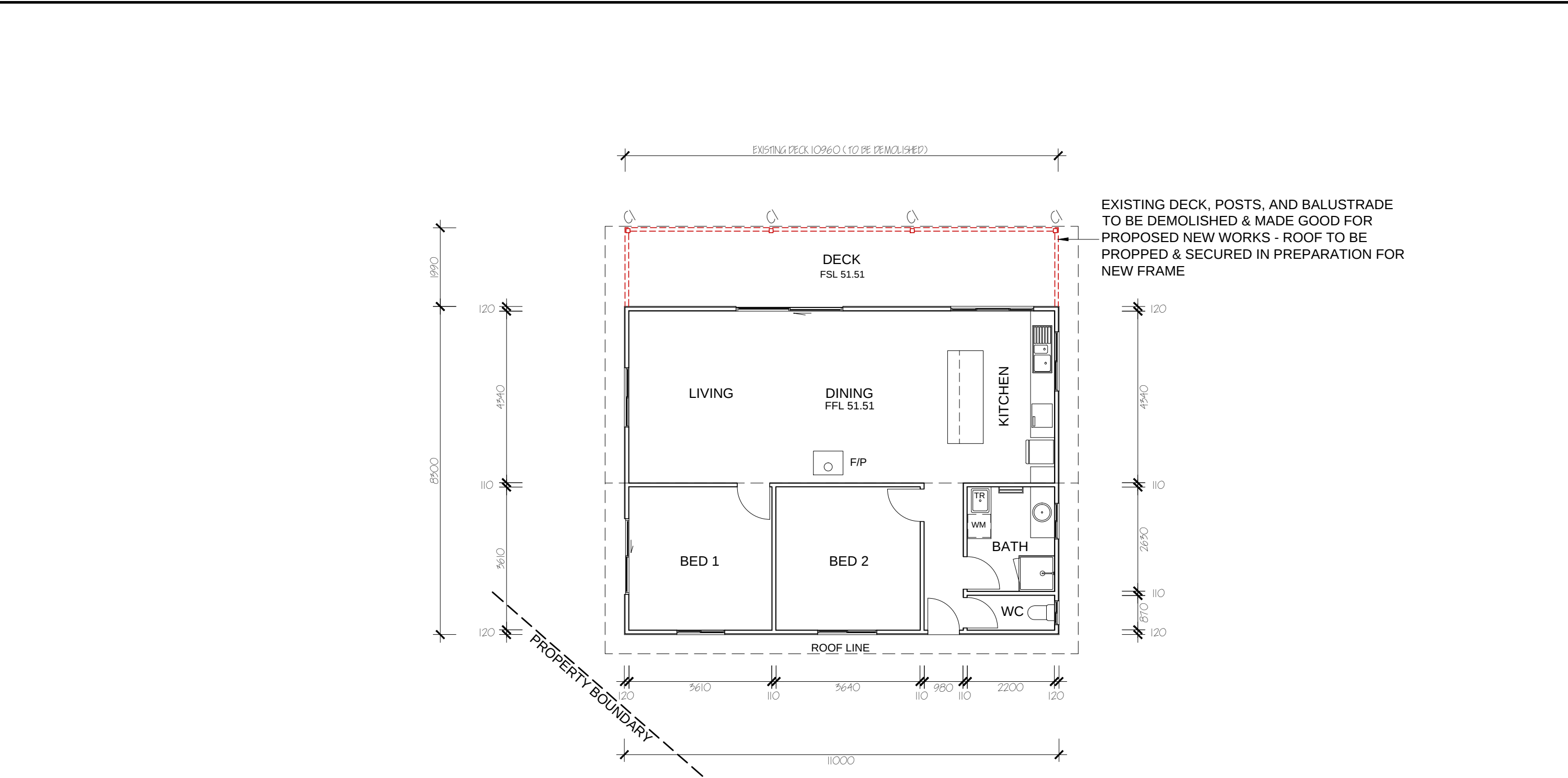
EXISTING GROUND FLOOR PLAN 1:100



LEGEND:
CI = EXISTING CHS STEEL POST - DEMOLISHED

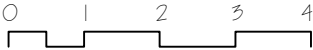


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	No.	Revision/Issue	Date				Date 26-Jul-25		SHEET DD03	
									CHECKED G. HILLS	
							Scale 1:100		DESIGN G. HILLS	
							Size A3		DRAWN M. Kamankesh	



EXISTING UPPER FLOOR PLAN

1:100



AREA:
Existing Deck Area = 21.81m²

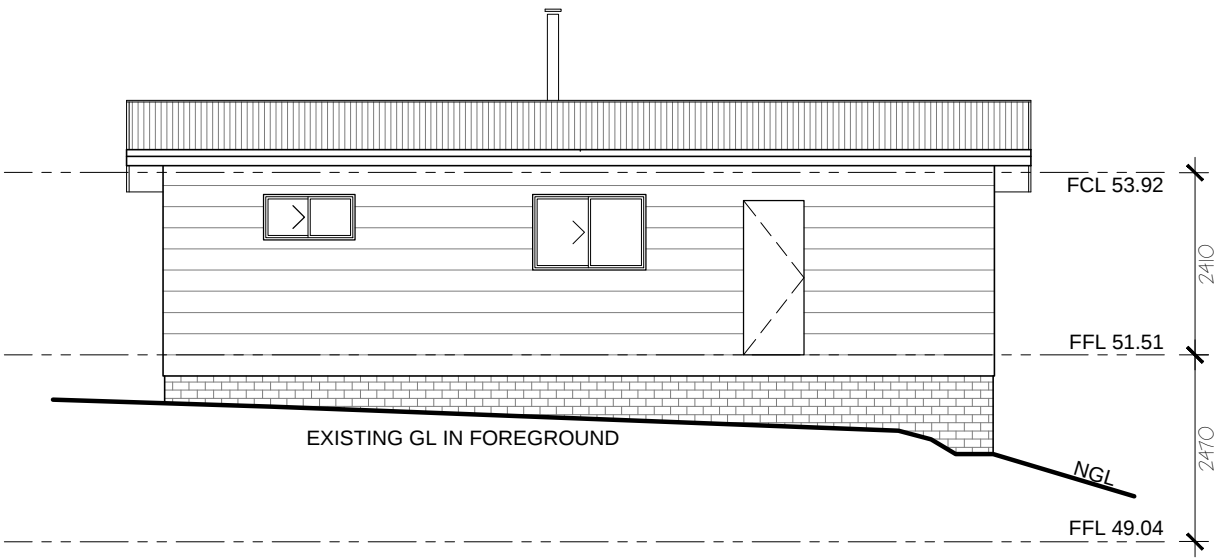
LEGEND:
CI = EXISTING TIMBER POST - DEMOLISHED



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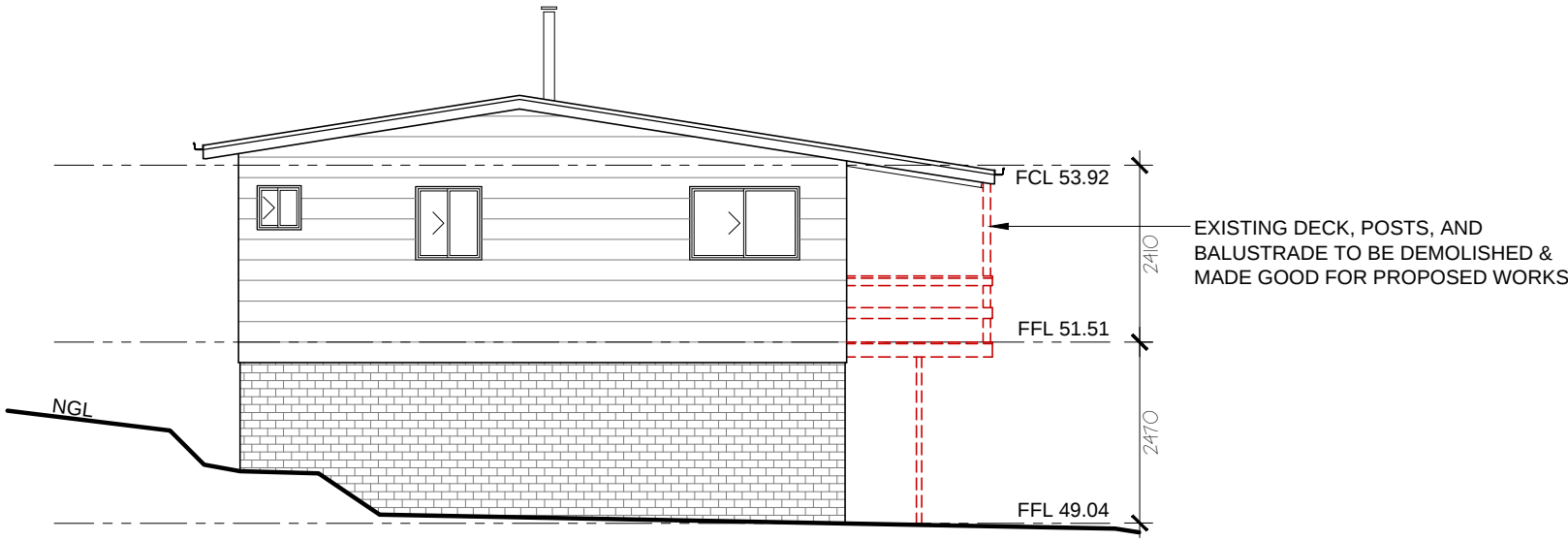
SOUTHWEST ELEVATION 1:100

0 1 2 3 4



SOUTHEAST ELEVATION 1:100

0 1 2 3 4



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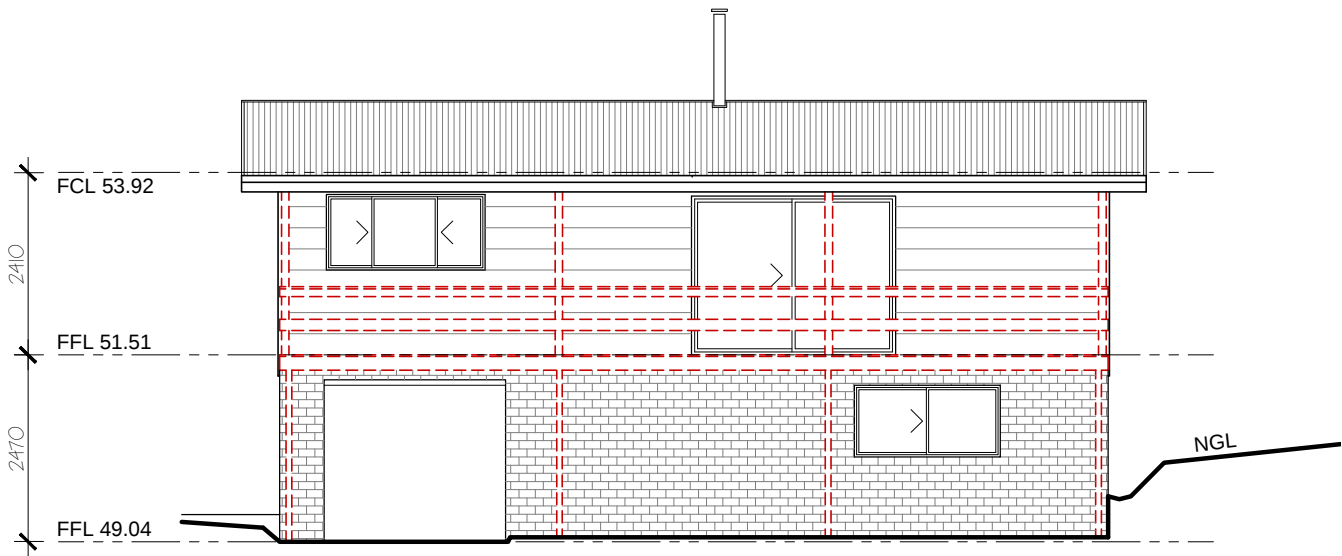
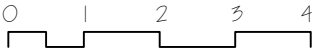
Building Designer Accreditation No. CC2367B

Project Name and Address
PROPOSED NEW DECK
19 Olsons Rd, EAGLEHAWK NECK

Drawing Title
EXISTING ELEVATIONS 1
Client

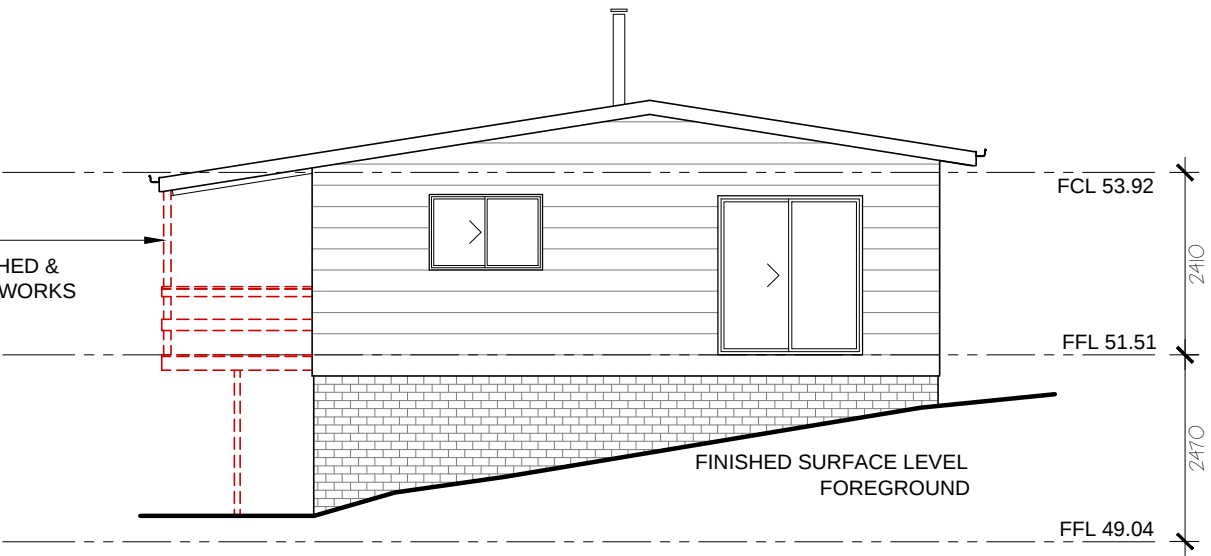
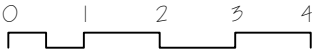
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Date 26-Jul-25		SHEET DD05	
Scale 1:100	Size A3	CHECKED G. HILLS	DESIGN G. HILLS
		DRAWN M. Kamankesh	

NORTHEAST ELEVATION 1:100



EXISTING DECK, POSTS, AND
BALUSTRADE TO BE DEMOLISHED &
MADE GOOD FOR PROPOSED WORKS

NORTHWEST ELEVATION 1:100



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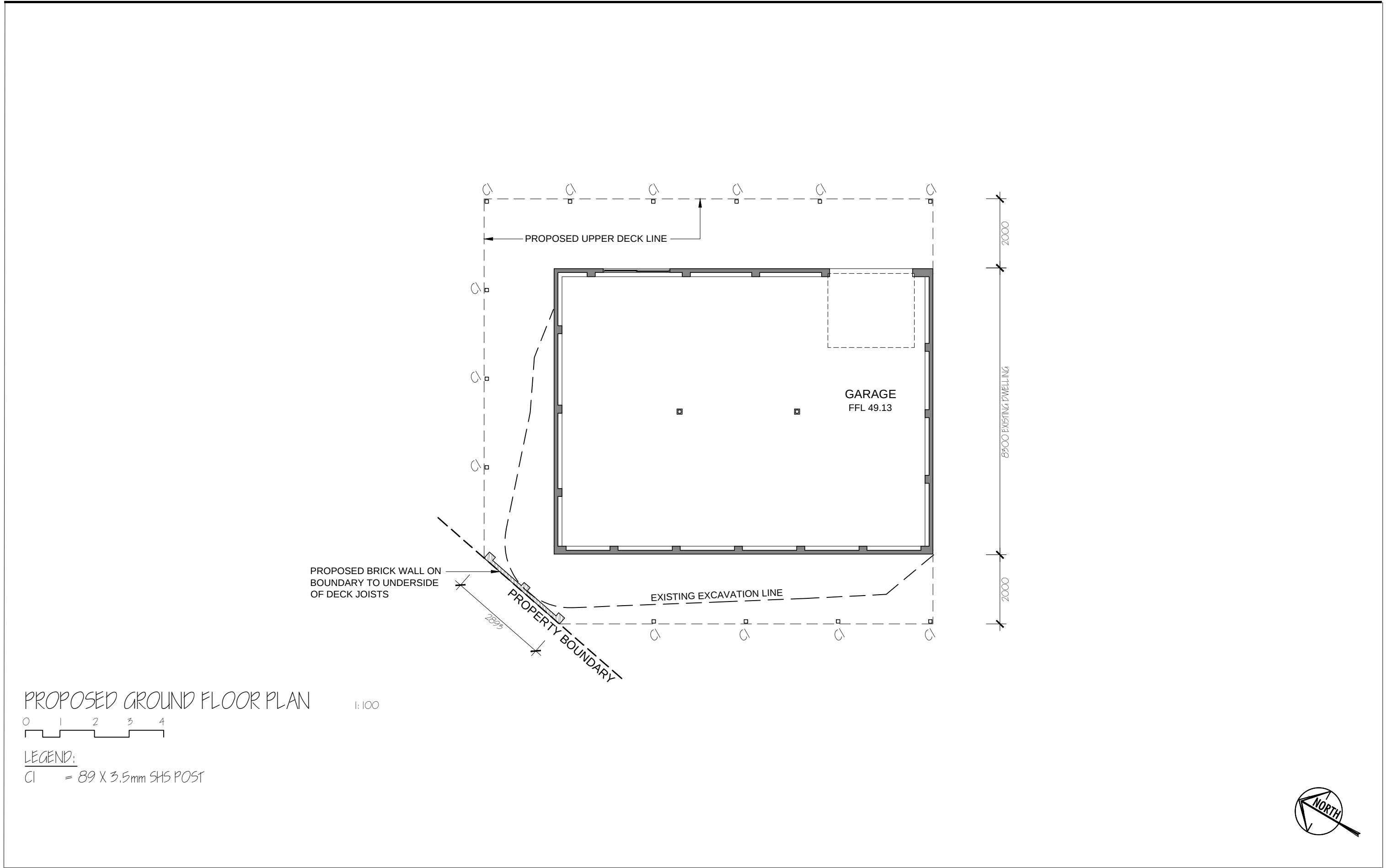
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Building Designer Accreditation No. CC2367B

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PROPOSED NEW DECK
19 Olsons Rd, EAGLEHAWK NECK

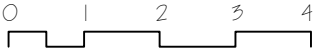
Drawing Title
EXISTING ELEVATIONS 2
Client

DRAWING TYPE Design Dev' Drawings		PROJECT No. 22539	
Date 26-Jul-25		SHEET DD06	
Scale 1:100	Size A3	CHECKED G. HILLS	DESIGN G. HILLS
		DRAWN M. Kamankesh	



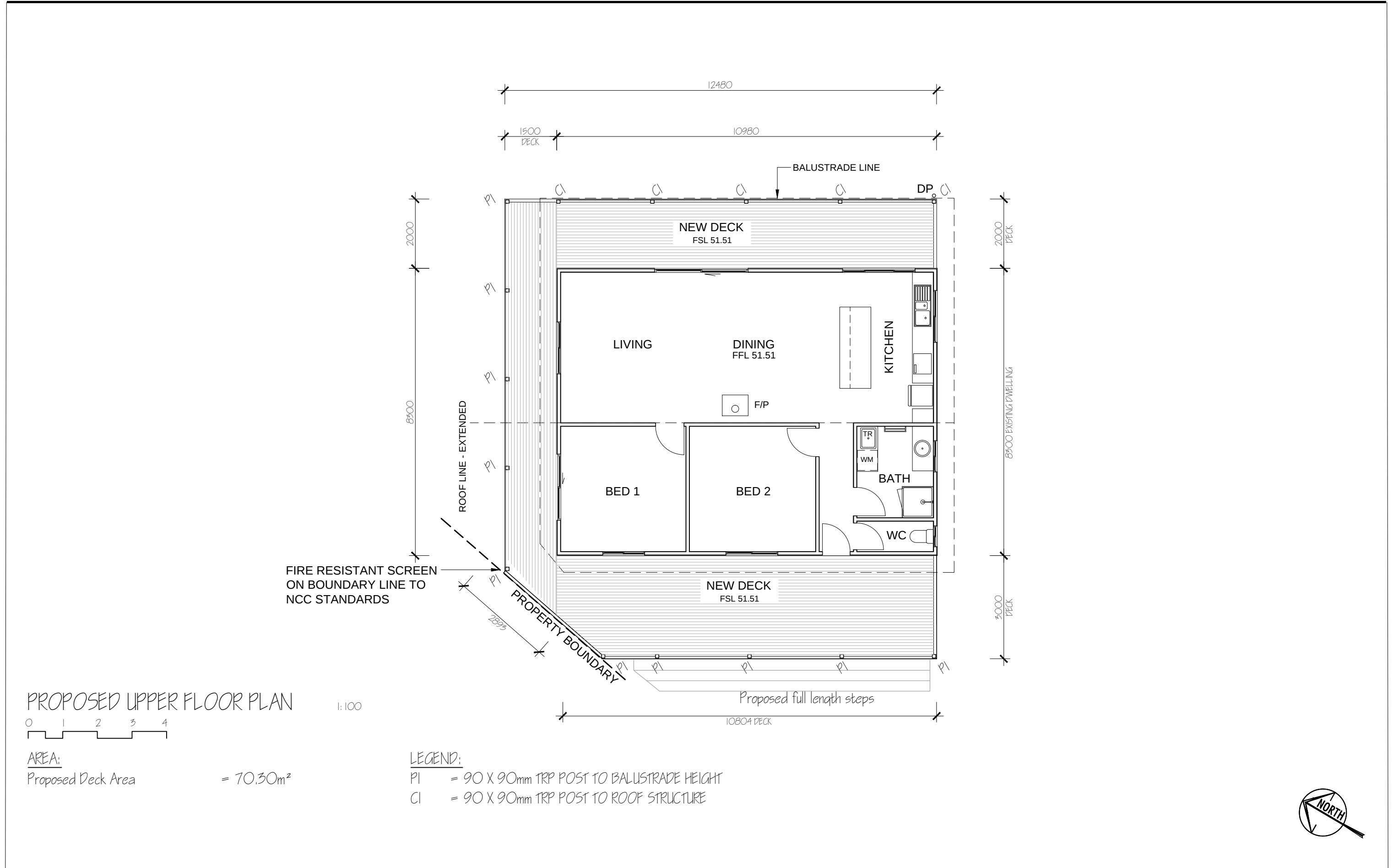
PROPOSED GROUND FLOOR PLAN

1: 100



LEGEND:
CI = 89 X 3.5mm SHS POST

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					PROPOSED NEW DECK		PROPOSED GROUND FLOOR PLAN		Design Dev' Drawings		22539	
	No. Revision/Issue Date						Client		Date		SHEET	
									26-Jul-25		DD07	
									Scale		Size	
									1:100		A3	
									CHECKED		G. HILLS	
									DESIGN		G. HILLS	
									DRAWN		M. Kamankesh	



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REVISION NOTES		
No.	Revision/Issue	Date

G.Hills&Partners ARCHITECTS

PO Box 910, KINGSTON, TAS 7051
P 03 6229 1799 E graham.hills@bigpond.com
Building Designer Accreditation No. CC2367B

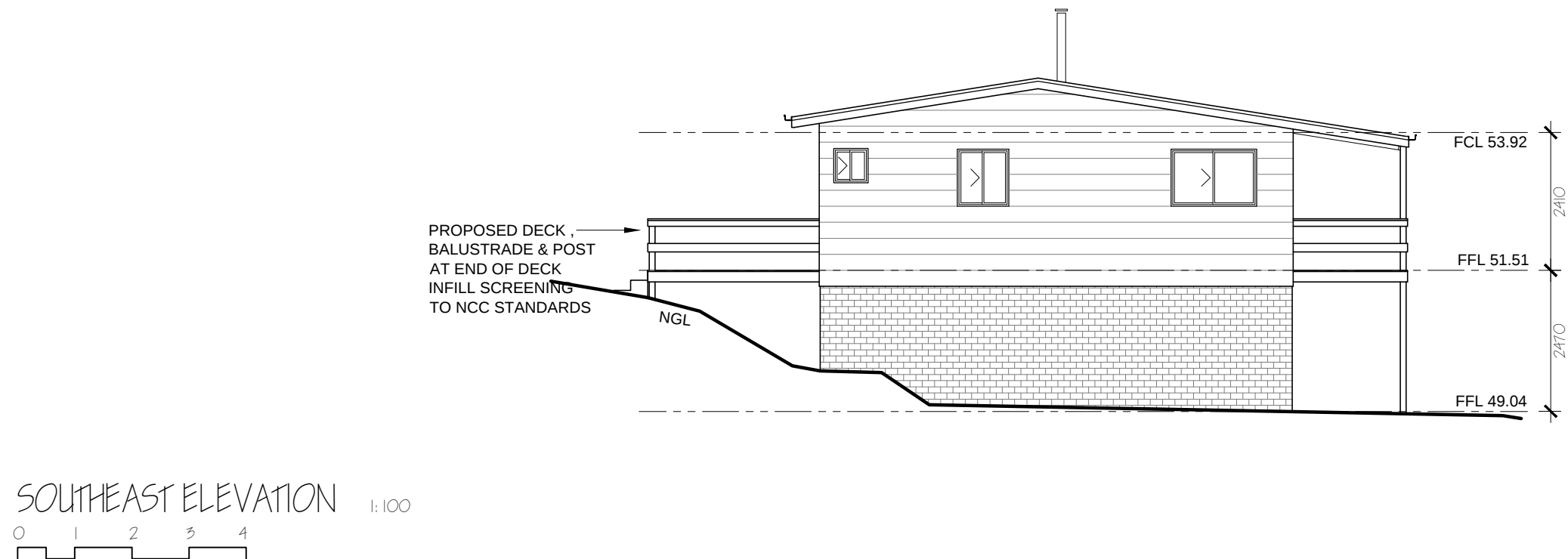
Project Name and Address
PROPOSED NEW DECK

19 Olsons Rd, EAGLEHAWK NECK

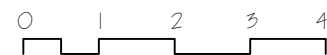
Drawing Title
PROPOSED UPPER FLOOR PLAN

Client
i

DRAWING TYPE Design Dev' Drawings		PROJECT No. 22539	
Date 26-Jul-25		SHEET DD08	
Scale 1:100	Size A3	CHECKED G. HILLS	DESIGN G. HILLS
		DRAWN M. Kamankesh	



NOTES: Do not scale the drawings. Verify levels / dimensions on site prior to commencement, report any discrepancies / variations to designer. Materials / workmanship to comply with AS codes, BCA & relevant regulations.	REVISION NOTES			G.Hills &Partners ARCHITECTS PO Box 910, KINGSTON, TAS 7051 P 03 6229 1799 E graham.hills@bigpond.com Building Designer Accreditation No. CC2367B	Project Name and Address PROPOSED NEW DECK	Drawing Title PROPOSED ELEVATIONS 1	DRAWING TYPE Design Dev' Drawings		PROJECT No. 22539	
	No.	Revision/Issue	Date		Date 26-Jul-25		SHEET	DD09		
							CHECKED	G. HILLS		
							DESIGN	G. HILLS		
							DRAWN	M. Kamankesh		
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Architectural elevation drawing of the rear facade of a two-story building. The drawing shows a brick base with a large rectangular opening on the left and a smaller window on the right. Above the brick section is a wooden deck with a balustrade and screen infill. The roof is flat with a chimney. Elevation markers on the left indicate FCL 53.92, FFL 51.51, and FFL 49.04. A vertical dimension of 2410 is shown for the brick section, and 2410 is shown for the deck section. A note on the right states: "PROPOSED DECK, BALUSTRADE & POSTS WITH SCREEN INFILL TO NCC STANDARDS". A line labeled "NGL" (Natural Ground Level) is shown at the base of the brick section.



Architectural elevation drawing of a two-story building with a gabled roof. The drawing includes the following labels and dimensions:

- PROPOSED DECK, BALUSTRADE & POSTS WITH SCREEN INFILL TO NCC STANDARDS**: Points to the upper level balcony area.
- FCL 53.92**: Finished Ceiling Level.
- FFL 51.51**: Finished Floor Level (Upper).
- FFL 49.04**: Finished Floor Level (Lower).
- NGL**: Natural Ground Level.
- FSL**: Finished Site Level.
- FIRE RESISTANT SCREEN ON BOUNDARY LINE TO MANUFACTURER'S DETAILS**: Points to the fire-resistant screen on the boundary line.
- 2410**: Vertical dimension from FFL 51.51 to FCL 53.92.
- 2470**: Vertical dimension from FFL 49.04 to FFL 51.51.

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	No.	Revision/Issue	Date		PROPOSED NEW DECK		PROPOSED ELEVATIONS 2		Design Dev' Drawings		22539	
									Date		SHEET	DD10
									26-Jul-25		CHECKED	G. HILLS
									Scale		DESIGN	G. HILLS
									1:100		Size	DRAWN
							Client		A3			
					19 Olsons Rd, EAGLEHAWK NECK							

Samantha Stansbie

From: Tasman Info
Sent: Thursday, 9 October 2025 4:21 PM
To: Samantha Stansbie
Subject: FW: DA 73/2025 - 19 Olsons Road, Eaglehawk Neck

From:
Sent: Thursday, 9 October 2025 2:59 PM
To: Tasman Info <tasman@tasman.tas.gov.au>
Subject: RE: DA 73/2025 - 19 Olsons Road, Eaglehawk Neck

Dear Permit Authority,

Thank you for your RFI dated 23 September 2025.

Please refer to the following response;

Clause 10.4.3 Setbacks in Low Density Residential Zone

P2

We note that the proposed alterations with the deck additions does not cause an unreasonable loss of amenity to adjoining properties;

- (a) the topography of the site climbs gradually to the rear with the deck surround at the adjacent boundary is less than 1m in height and is screened at the boundary junction.
- (b) the proposed deck has been considered to extend the internal living space and access to the rear of the yard to maximize the current orientation and site layout.
- (c) There are no surrounding buildings in close proximity to the proposed deck additions.
- (d) the height, bulk and form follow the existing footprint of the existing dwelling.
- (e) the proposed deck gains better access to the private open space at the rear of the site.
- (f) there are no habitable rooms on the adjacent site and therefore there is no loss of sunlight to private open spaces.
- (g) the proposed deck is not out of character with established properties in the area where decks are accepted as additional outdoor spaces.

We trust this is sufficient information in order to progress the application.

Regards
Graham Hills
G Hills & Partners Architects