

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval under the Land Use Planning and Approvals Act 1993, for the following development(s):

NUMBER:	DA 69 / 2025
ADDRESS:	51 Mason Point Road, Eaglehawk Neck (CT 62827/7)
DESCRIPTION:	Residential – Construction of a Dwelling

All plans and documents submitted with the application can be inspected at the Tasman Council Office, Monday to Friday from 8:30am to 4:30pm. In addition to the statutory requirements, some documents, relevant to the assessment of the application are available on the council website by following this link:

<https://tasman.tas.gov.au/advertised-applications/>, by using the QR Code below, or they are available in hard copy upon request by calling Council on (03) 6250 9200 or email tasman@tasman.tas.gov.au during the period for which representations may be made, until **24 October 2025**.

Any person may make a representation relating to the application. Representations are to be made in writing addressed to the General Manager, Tasman Council, 1713 Main Road, Nubeena TAS 7184 or by email to tasman@tasman.tas.gov.au and will be received no later than **24 October 2025**. Late representations will not be considered.



A handwritten signature in black ink, appearing to read 'Blake Repine'.

Blake Repine
General Manager
Date: 10 October 2025

DA69 / 2025 – 51 Mason Point Road, Eaglehawk Neck (CT 62827/7)– The relevant plans and documents can be inspected at the Council Offices at 1713 Main Road, Nubeena during normal office hours, or the plans may be viewed on Council's website at www.tasman.tas.gov.au until the date representations close 24 October 2025.
The below image was sourced from The List: <https://maps.thelist.tas.gov.au/listmap/app/list/map>



Application for Planning Permit

The personal information requested on this form is being collected by council for purpose set out in the title of the form. The personal information will be used solely by council for the primary purpose or directly related purposes. The applicant understands that personal information is provided for the above mentioned function and that he/she may apply to council for access to and/or amendment of the information. If an application is made under Section 57 of the Land Use Planning and Approvals Act 1993, a copy of the lodgement documents must be made available for any person to inspect during public notification.

Please note that any information, reports and plans submitted with an application are treated as public documents and may be reproduced for representors, referral authorities and any other persons/bodies interested in the proposal.

Requests for access or correction should be made to Tasman Council's Customer Service Officer.

APPLICANT DETAILS*

FULL NAME	Another Perspective Pty Ltd		
POSTAL ADDRESS		POSTCODE	
PHONE (BUSINESS HOURS)		MOBILE:	
EMAIL			

NOTE: All Council correspondence will be emailed to the applicant unless otherwise specified.

OWNERS DETAILS (IF DIFFERENT TO APPLICANT DETAILS)*

ENSURE OWNER DETAILS MATCH THE CURRENT CERTIFICATE OF TITLE

FULL NAME			
POSTAL ADDRESS		POSTCODE	
PHONE (BUSINESS HOURS)		MOBILE	

DESCRIPTION OF PROPOSED DEVELOPMENT*

☒ New Dwelling	☐ Extension/ Addition	
☐ New Shed/ Outbuilding	☐ Demolition	
☐ Subdivision	☐ Visitor Accommodation	
☐ Change of Use	☐ Other (please specify – right)	
☐ Commercial/ Industrial Building		

Are any of the components in this application seeking retrospective approval?

E.g. Use and/or development that has commenced without a planning permit.

(If yes, please specify the relevant components)

☐ Yes

☒ No

PRESENT USE OF LAND/ BUILDING(S)

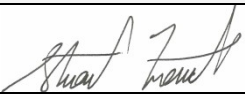
Residential

LOCATION OF PROPOSED DEVELOPMENT*

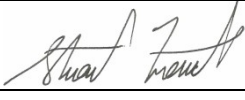
ADDRESS	51 Mason Point Road, Eaglehawk Neck TAS 7179		
CERTIFICATE OF TITLE	62827	LOT NUMBER	7
FLOOR AREA			
Existing floor area (square metres): N/A		Proposed floor area (square metres): 139.86	
CAR PARKING			
Number existing N/A		Number proposed 2	

SITE CONTAMINATION*	
Have any potentially contaminating uses been undertaken on this site? (Refer to list provided on page 5)	☐ Yes ☒ No
TASMANIAN HERITAGE OR ABORIGINAL HERITAGE REGISTER*	
Is this property on the Tasmanian Heritage or Aboriginal Heritage Register?	☐ Yes ☒ No
VEGETATION REMOVAL*	
Does the proposal require any vegetation removal? If yes, provide details on the site plan.	☐ Yes ☒ No
VALUE (mandatory field)	
Value of work (inc. GST)	\$ 480,000.00

DECLARATION BY APPLICANT*

I/ we declare that the information given is a true and accurate representation of the proposed development; and I/ we am/ are liable for the payment of Council application processing fees, even in the event of the development not proceeding; and I/ we authorise Tasman Council to provide a copy of my documents relating to this application to any person for the purpose of assessment and public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.	
SIGNATURE OF APPLICANT	
NAME OF APPLICANT (PLEASE PRINT)	Stuart French
DATE	15/08/2025

DECLARATION IF APPLICANT IS NOT THE OWNER

I hereby declare that I am the applicant for the development at the address detailed in this application for a planning permit, and that I have notified the owner/s of the land for which I am making this application, in accordance with Section 52(1a) of the <i>Land Use Planning and Approvals Act 1993</i> .	
SIGNATURE OF APPLICANT	
NAME OF APPLICANT (PLEASE PRINT)	Stuart French
DATE	14/08/2025
NAME/S OF OWNER/S NOTIFIED	
DATE	14/08/2025

DECLARATION IF LAND IS COUNCIL OR CROWN LAND

If the land that is the subject of this application is owned or administered by either the Crown or Tasman Council, the consent of the Minister of the Crown or the General Manager of the Council, whichever is applicable, must be included here. This consent should be completed and signed by either the Minister, the General Manager of Tasman Council, or their delegate (as specified in Subsections 52(1d-1g) of the <i>Land Use Planning and Approvals Act 1993</i>).	
DECLARATION	I, _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application.
SIGNATURE OF MINISTER/ GENERAL MANAGER	
DATE	

NON-RESIDENTIAL DEVELOPMENTS

Note: This section must be completed for all applications for non-residential uses, home occupations and domestic/ residential businesses or other managed/ commercial residential uses (e.g. hostel or motel).

HOURS OF BUSINESS			
CURRENT		PROPOSED	
Monday to Friday		Monday to Friday	
Saturday		Saturday	
Sunday		Sunday	
NUMBER OF EMPLOYEES			
CURRENT		PROPOSED	
Total Employees		Total Employees	
Employees on Site		Employees on Site	
PLANT/ MACHINERY			
Is there any large plant or machinery that would need to be installed or used on site such as refrigeration units and generators? (If yes, please list below the type of machinery and ensure location, dimensions etc are clearly marked on your plans.)			☐ Yes ☒ No
OUTDOOR STORAGE/ SEATING/ NUMBER OF BEDS			
Is outdoor storage proposed? (If yes, please ensure that your plans show where the outdoor storage areas are and what type of goods are stored. This information will help us assess the impact of the proposal on the amenity.			☐ Yes ☒ No
If you are proposing a night club, café or the like, what is the number of seats proposed including the capacity at any bar area?		Please ensure that the arrangements are shown on your plans. This information enables us to assess the car parking arrangements.	
If you are proposing a hotel, motel, visitor accommodation, hostel or the like, what is the number of beds proposed?		Please ensure the beds are clearly indicated on your plans. This information enables us to assess the car parking arrangements.	
GOODS DELIVERIES			
Will there be any goods deliveries to and from the site? (If yes, please estimate the number and type of vehicles and how often they will make trips.)			☐ Yes ☒ No
Type and Size of Vehicle		Number of Vehicles on Site	
Trip Frequency per Month			

PLANNING PERMIT – APPLICATION CHECKLIST

To ensure that we can process your application as quickly as possible, please read the following checklist carefully to ensure that you have provided the following at the time of lodging the application. If you are unclear on any aspect of your application, please phone **(03) 6250 9200** to discuss or arrange an appointment concerning your proposal. Note that, in accordance with Section 54 of the *Land Use Planning and Approvals Act 1993*, Council may require additional information.

Please complete the below checklist



Completed Application Form

- All sections and filled out correctly and owner details match those listed on the title documents
- Application form includes a detailed cost estimate of the proposal



Written Submission

- Description of the proposed development
- Justification addressing the Performance Criteria (if applicable)



Title Documents

- Current copy of the Certificate of Title (Folio Plan and Text Page)
- Copies of any restrictive covenants, easements, or other relevant documents.



Site Plan

- Drawn to scale
- Shows the location of the proposed development
- Includes existing structures, property boundaries, access points and any natural features (vegetation and waterways)



Floor Plan and Elevations

- Detailed floor plans of the proposed development
- Elevations showing the height and external appearance



Stormwater and Servicing Plan

- Details on how stormwater will be managed on-site
- Information about connections to utilities (water, sewer, electricity)
- Elevations showing the height and external appearance



Landscaping Plan (if applicable)

- Details of existing vegetation to be retained or removed



Supporting Reports and Assessments (if applicable)

- Bushfire Hazard Management Plan and Report
- Traffic Impact Assessment
- Natural Values Assessment
- Onsite Wastewater Assessment

Dated: 14/08/2025

Signed:



Please note that application fees will be invoiced upon initial assessment.
Planning application assessment fees excluding subdivision assessment:

POTENTIALLY CONTAMINATING ACTIVITIES	
Agricultural Fertiliser Manufacture	Metal Founders
Asbestos Production and Manufacture	Metal Sprayers
Battery Manufacture and Recycling	Metal Treatments and Picklers
Chemical Manufacture or Formation	Mining and Extractive Industries
Defence Establishments and Training Areas	Pest Controllers (being areas where pest control chemicals are stored or vehicles and tanks used in connection with pest control are washed.)
Drum Reconditioning Wastes	Petroleum and Petrochemical Industries
Dry Cleaning Establishments	Pharmaceutical Manufacture or Formation
Electroplating	Printers
Explosives Production and Storage	Railway Yards
Fuel Depots and Storage Areas	Sanitary and Refining
Galvanisers	Scrap Yards
Gas Works	Service Stations
Gun, Pistol and Rifle Clubs	Smelting and Refining
Hazardous Waste Landfills	Tannery or Fellmongery or Hide Curing Works
Industrial Cleaners	Wood Treatment and Preservation Sites
Lime Burners	

SEARCH OF TORRENS TITLE

VOLUME 62827	FOLIO 7
EDITION 4	DATE OF ISSUE 18-Aug-2023

SEARCH DATE : 15-Aug-2025

SEARCH TIME : 11.19 AM

DESCRIPTION OF LAND

Parish of TARANNA, Land District of PEMBROKE
Lot 7 on Sealed Plan [62827](#) (formerly being SP1815)
Derivation : Parts of Lot 33226 Gtd. to D.J.A. Breden
Prior CT [2395/55](#)

SCHEDULE 1

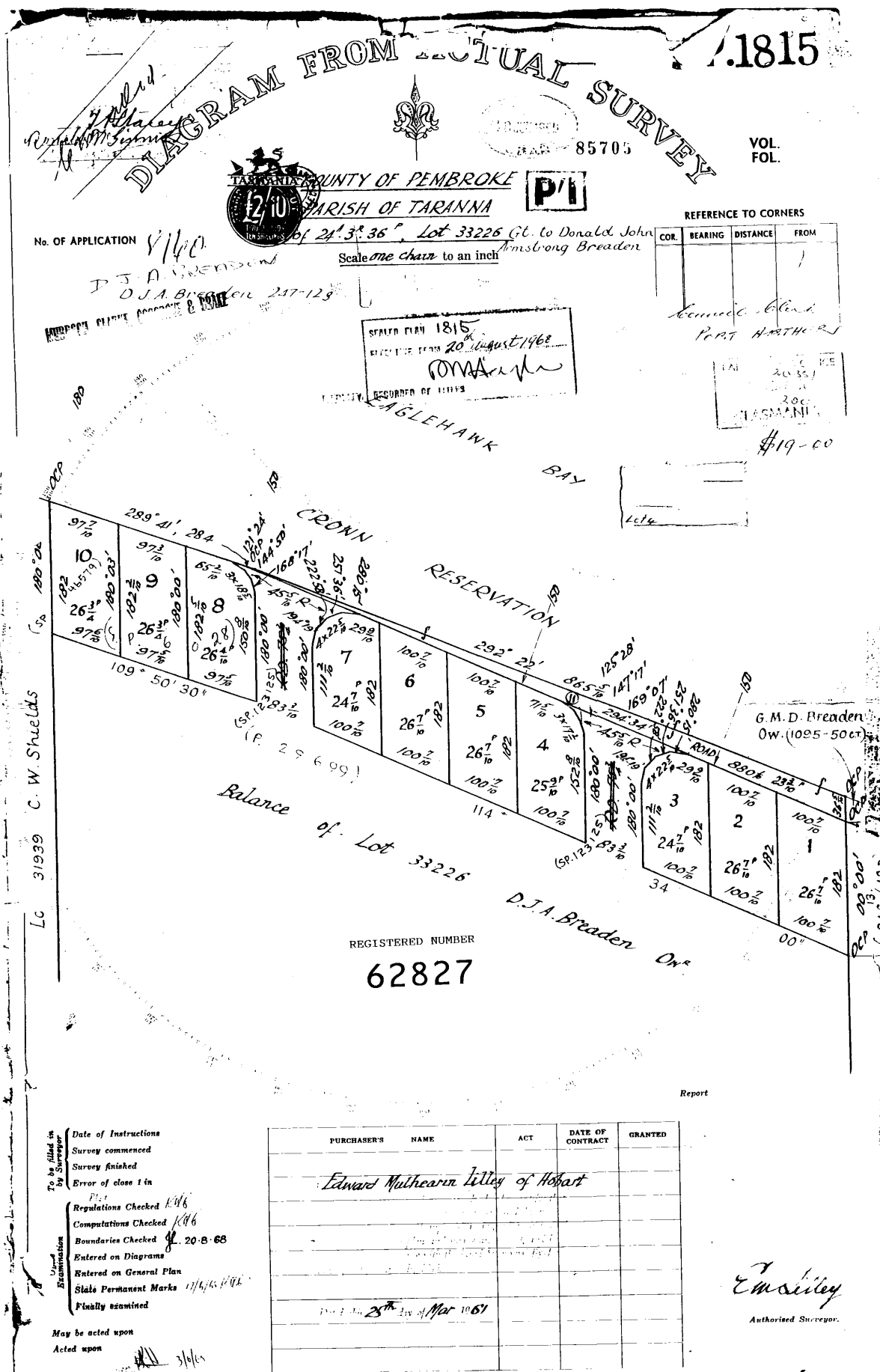
[N140610](#) TRANSFER to _____ and
Registered 18-Aug-2023 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[E125243](#) MORTGAGE to Bank Australia Limited Registered
18-Aug-2023 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations





Sheet of Sheets

SCHEDULE OF EASEMENTS

Office use only

PLAN No.

S.P.1815

This is the schedule of easements attached to the plan of Lots 1 to 11 inclusive comprising part of the land in

Purchase Grant 247/12
(insert title reference)

Sealed by

Municipality of Tasman on 11th May 1968

[Signature]
Council Clerk/Town Clerk

No Easements or profits a preder are created to benefit or burden any lot on the plan.

SIGNED by DONALD JOHN ARMSTRONG)
BREADEN the Registered Proprietor)
of the land comprised in Purchase)
Grant 247/12 in the presence of:)

[Signature: D. Braden]

[Signature: W. Dean]
how bleck
Hassett

SIGNED by BERYL ENID JONES the)
Mortgagee under Memorandum of)
Mortgage No. A.188118 in the)
presence of:)

[Signature: B. Jones]

[Signature: W. Dean]

Certified correct for the purposes of The Real Property Act 1862 as amended.

MURDOCH CLARKE COSGROVE & DRAKE.

Per:

[Signature: Murdoch Clarke]

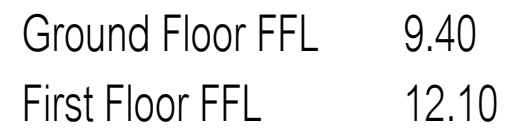
WRITE ON THIS SIDE OF THE PAPER ONLY



AP2025-2459 - PROPOSED & RESIDENCE
51 Mason Point Road,
EAGLEHAWK NECK

SHEET		DRAWING TITLE
01	B	SITE PLAN
01a	B	DRAINAGE PLAN
01b	A	SOIL & WATER MANAGEMENT PLAN
01c	B	DRIVEWAY LONG SECTION
02	A	GROUND FLOOR PLAN
02a	A	FIRST FLOOR PLAN
03	A	ELEVATIONS SHEET 1
03a	A	ELEVATIONS SHEET 2
03b	A	PERSPECTIVE VIEWS SHEET 1
03c	A	PERSPECTIVE VIEWS SHEET 2

B	COUNCIL RFI: Notate tank overflow, show connection from firefighting tank to offtake, update irrigation area to match updated design, dimension and notate gradients of parking bays and specify concrete finish. Provide long section of driveway showing proposed footway required. Update all relevant plans	17 September 2025	ST	CK	01 - 01a, 01c	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	Client / Project info PROPOSED 51 Mason Point Road, EAGLEHAWK NECK	Soil Classification: Title Reference: Floor Areas: Porch / Deck Areas: Wind Speed: Climate Zone: Alpine Zone: Corrosion Environment: Certified BAL: Designed BAL: (Refer to Standard Notes for Explanation) M CT62827/7 Refer to Plans 21.60m² N3 7 N/A High BAL 29 BAL 29	COVER SHEET		
												AP2025-2459
										Date	30 June 2025	Sheet
										Scale		00/03



9.40

12.10

Verandah

Pole

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The title boundaries shown on this General Detail Plan are not marked at the time of survey, and have been determined by existing title plan dimensions & occupation (where available) only and not by field survey. As a result they are considered approximate only. This plan should not be used for building to boundary or to prescribed set-backs without further survey. If Strata Subdivision over this site is contemplated all buildings existing or resulting from the development must be within the title boundaries. A registered Remark Survey is recommended at this time. Services shown have been located where possible by field survey. Prior to and demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

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House
#49

C.T 62827/7
633m²

Mason Point Road

EXPLANATORY NOTES: TASMANIAN PLANNING SCHEME - TASMAN	
10.4.4 - Site coverage and private open space for all dwellings	
A1	Site Coverage: Max. 30% of site = 189.90m² Proposed site coverage: 110.20m² (17.41%)

- Notes
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Designer:

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NORTH HOBART
LIC. NO. 685230609 (S. Turvey)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info

PROPOSED
51 Mason Point Road,
EAGLEHAWK NECK

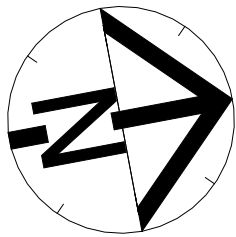


SITE PLAN

Drawn	ST	AP2025-2459
Date	30 June 2025	Sheet
Scale	1 : 200	01/02

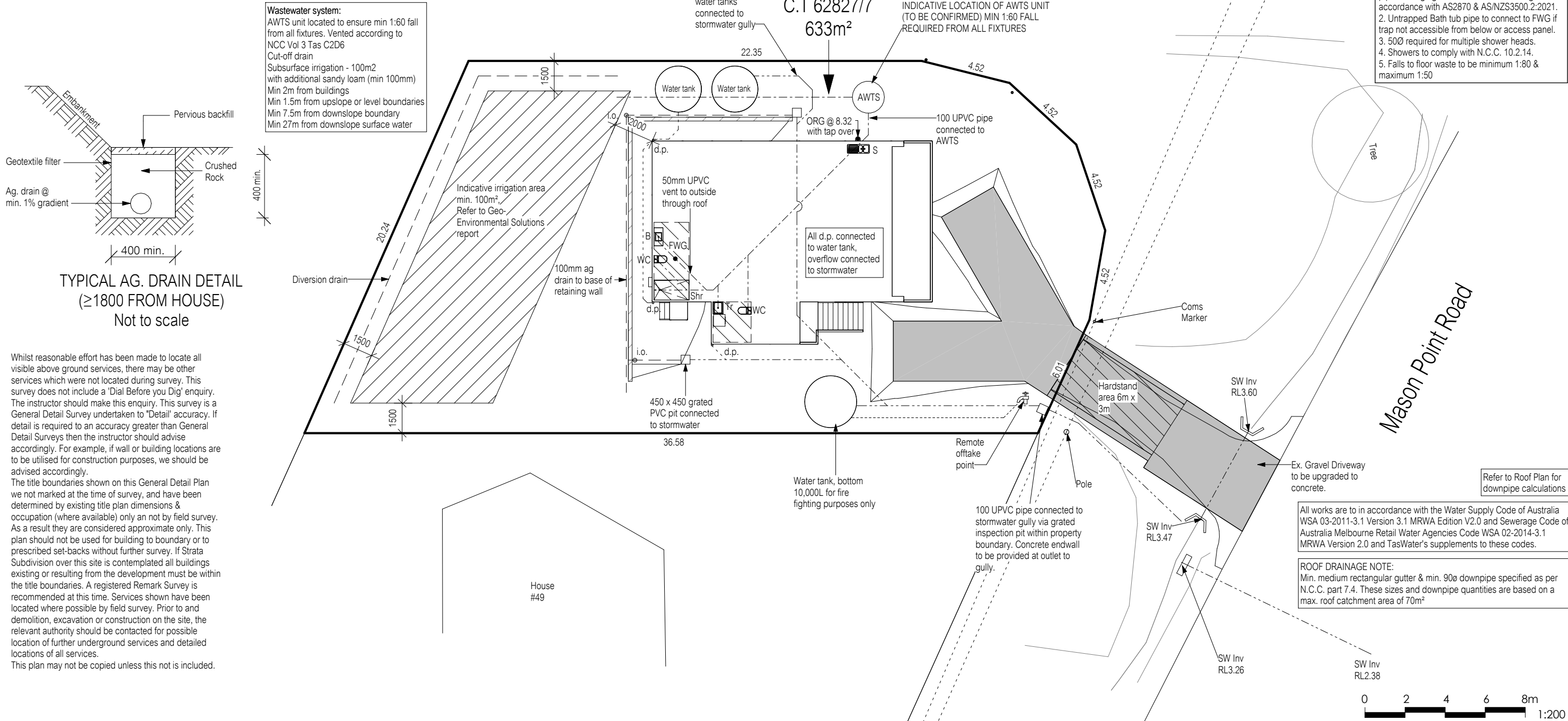
01/03

B	17 September 2025	ST
A	24 July 2025	ST
No	Date	Int

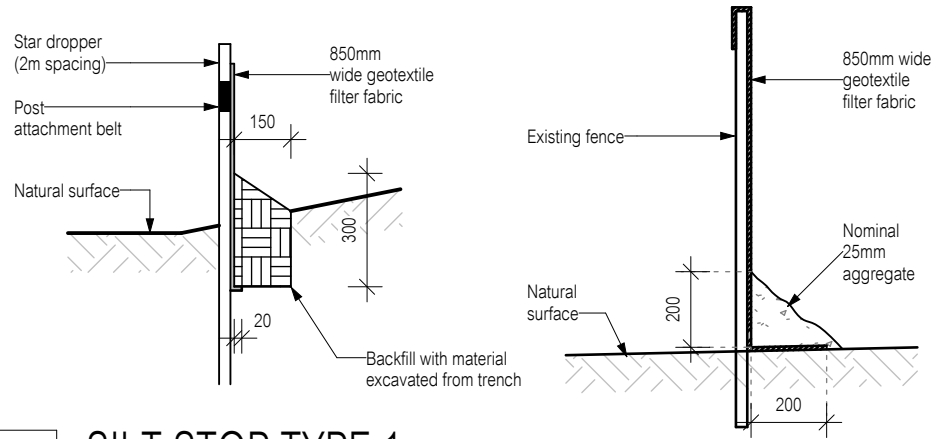
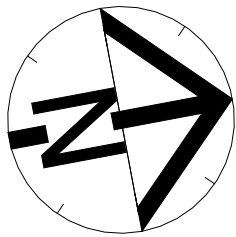


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DRAINAGE LEGEND		
Abbreviation	Fixture	Min. Outlet Size
B	Basin	400
Bth	Bath	400 (incl. trap)
Shr	Shower	400 (Note 3)
S	Sink	500
Tr	Trough	400
WC	Water Closet Pan	1000
d.p.	Downpipe	900
ORG	Overflow Relief Gully	1000
FWG	Floor Waste Gully	650 (Note 2)
----- Sewer Line (1000 UPVC) (unless noted otherwise)		
----- Stormwater Line (1000 UPVC) (unless noted otherwise)		
----- Stormwater Line (1500 UPVC) (unless noted otherwise)		
NOTES:		
1. Flexible connections are to be installed on any pipes emerging from beneath the building in accordance with AS2870 & AS/NZS3500.2:2021.		
2. Untrapped Bath tub pipe to connect to FWG if trap not accessible from below or access panel.		
3. 500 required for multiple shower heads.		
4. Showers to comply with N.C.C. 10.2.14.		
5. Falls to floor waste to be minimum 1:80 & maximum 1:50		

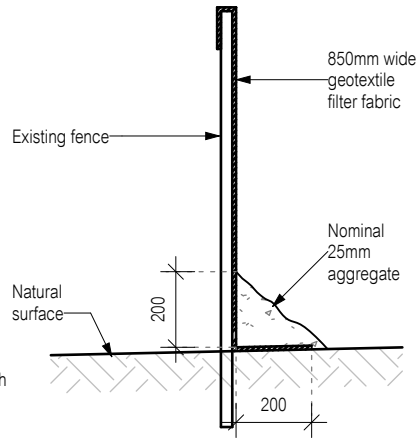


Soil classification: M Refer to Soil Report for nominated founding depth and description of founding material. All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3			- Wet areas to comply with NCC 10.2 and AS3740	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	Client / Project info PROPOSEC 51 Mason Point Road, EAGLEHAWK NECK		DRAINAGE PLAN	
B	17 September 2025	ST	Drawn	ST	AP2025-2459				
A	24 July 2025	ST	Date	30 June 2025	Sheet				
No.	Date	Int.	Scale	1 : 200	01a/03				
Amendment changes as per cover sheet									



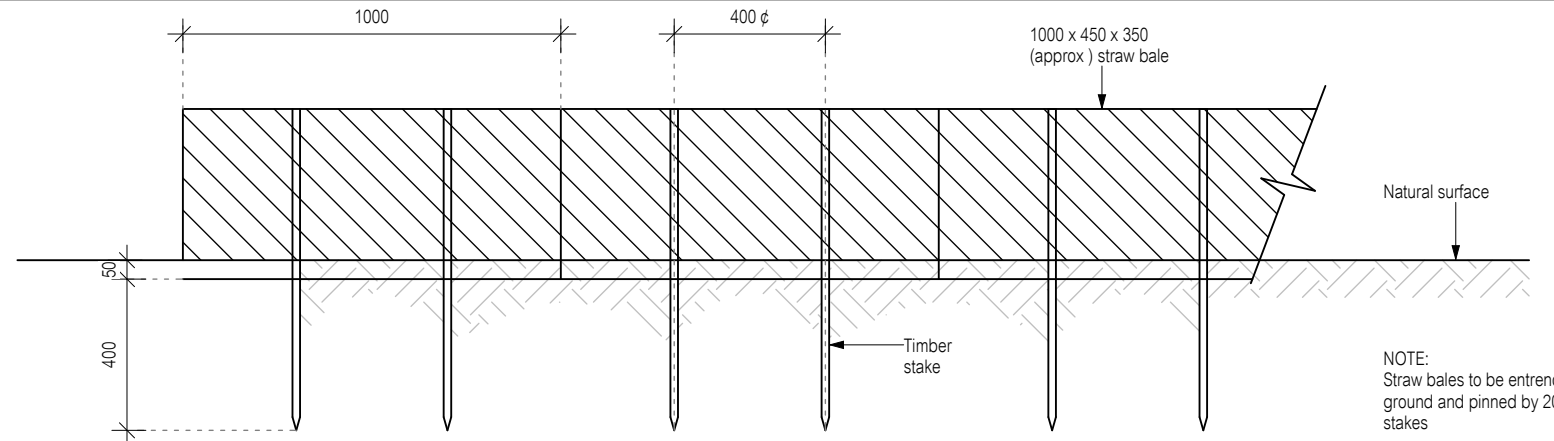
SILT STOP TYPE 1

TEMPORARY FENCE 1:20



SILT STOP TYPE 2

EXISTING FENCE 1:20



STRAW BALE SEDIMENT TRAP SECTION DETAIL

SCALE 1:20

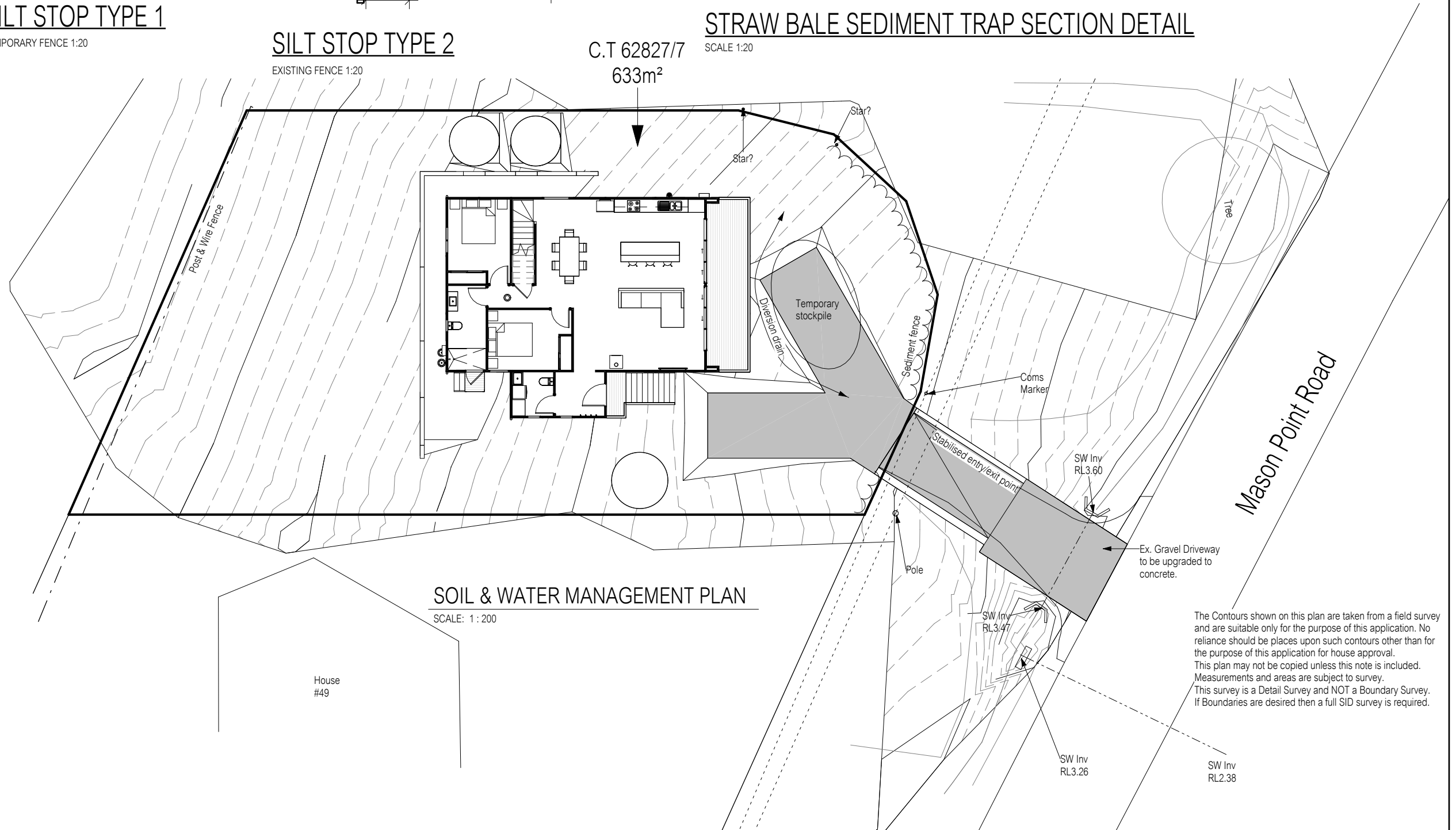
NOTE:
Straw bales to be entrenched 50mm in ground and pinned by 20 x 20mm timber stakes

NOTES:
Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site

NOTES:
1. Erosion and sediment control structures to be inspected each working day and maintained in good working order.
2. All ground cover vegetation outside the immediate building area to be preserved during the building phase
3. All erosion and sediment control measures to be installed prior to commencement of major earthworks.
4. Stockpiles of clayey material to be covered with an impervious sheet.
5. Roof water downpipes to be connected to the permanent underground Stormwater drainage system as soon as practical after the roof is laid

NOTES:
1. Diversion drains are to be connected to a legal discharge point. (council Stormwater system, watercourse or road drain).
2. Sediment retention traps installed around the inlets to the Stormwater system to prevent sediment & other debris blocking the drains.

Whilst reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during survey. This survey does not include a 'Dial Before you Dig' enquiry. The instructor should make this enquiry. This survey is a General Detail Survey undertaken to "Detail" accuracy. If detail is required to an accuracy greater than General Detail Surveys then the instructor should advise accordingly. For example, if wall or building locations are to be utilised for construction purposes, we should be advised accordingly.
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A	24 July 2025	ST
No.	Date	Int.

Amendment changes as per cover sheet

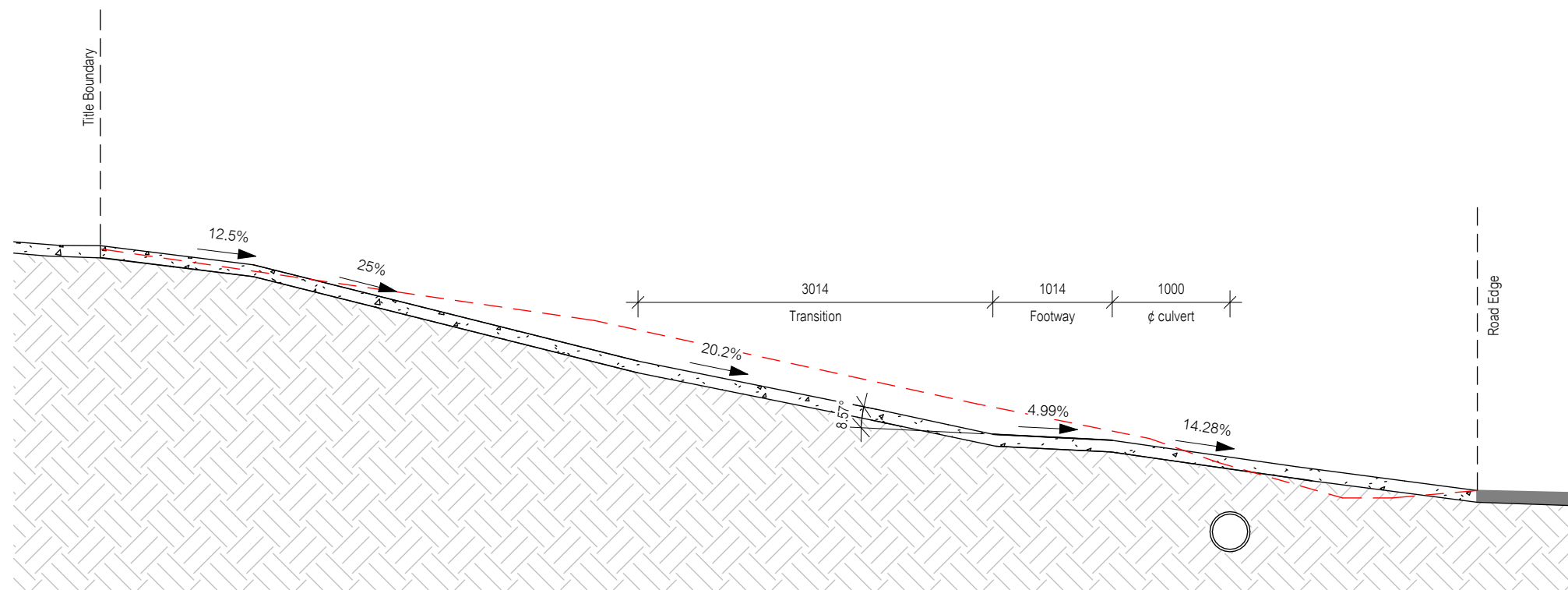
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Client / Project info
PROPOSED ()
51 Mason Point Road,
EAGLEHAWK NECK



SOIL & WATER MANAGEMENT PLAN		
Drawn	ST	AP2025-2459
Date	30 June 2025	Sheet
Scale	As indicated	01b/03

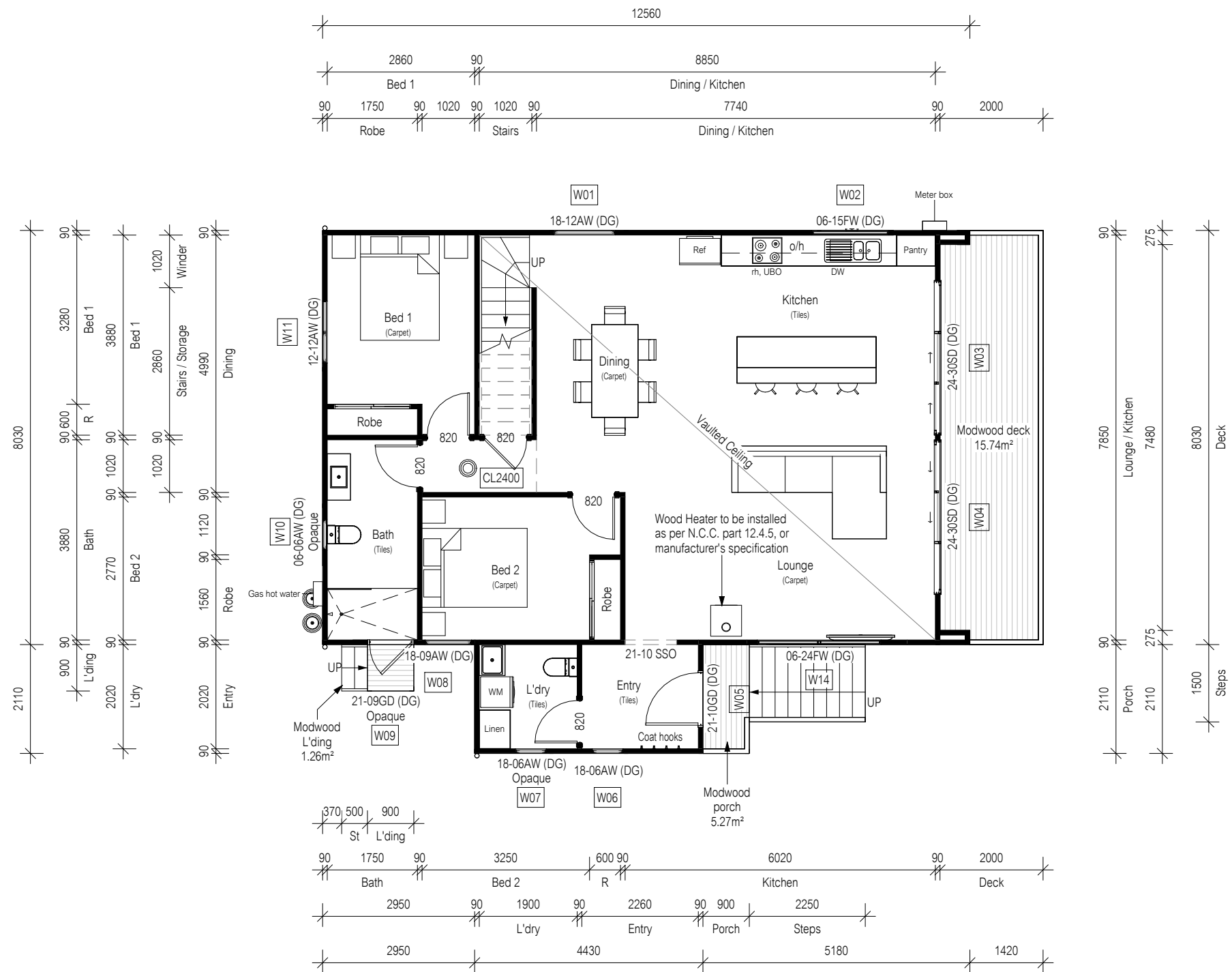
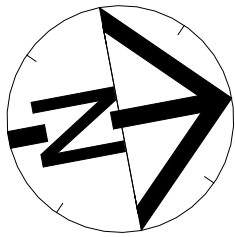


DRIVEWAY LONG SECTION

SCALE: 1 : 50

B	17 September 2025	ST
No.	Date	Int.

Amendment changes as per cover sheet	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		DRIVEWAY LONG SECTION		
		ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED 51 Mason Point Road, EAGLEHAWK NECK		Drawn	ST	AP2025-2459
					Date	25 September 2025	Sheet
					Scale	1 : 50	01c/03



Floor Area = 105.87m²

Articulation joints

Smoke Alarm (interconnected where more than 1)

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

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PROPOSED (

51 Mason Point Road,
EAGLEHAWK NECK

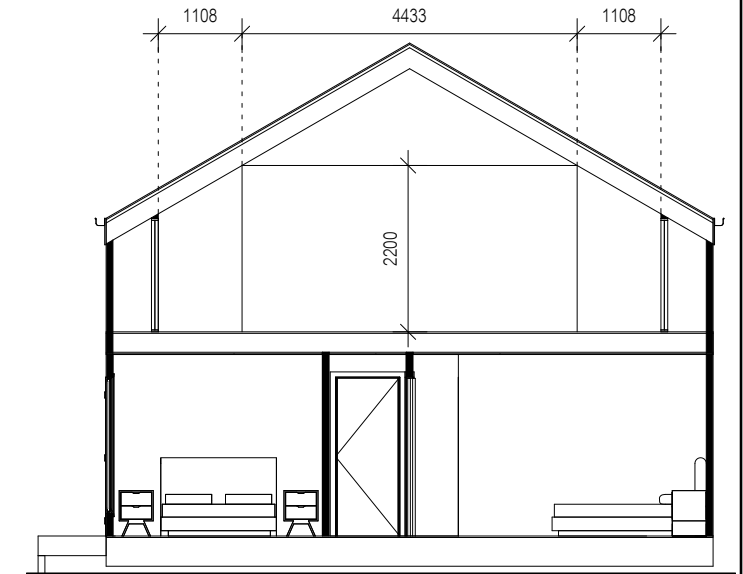
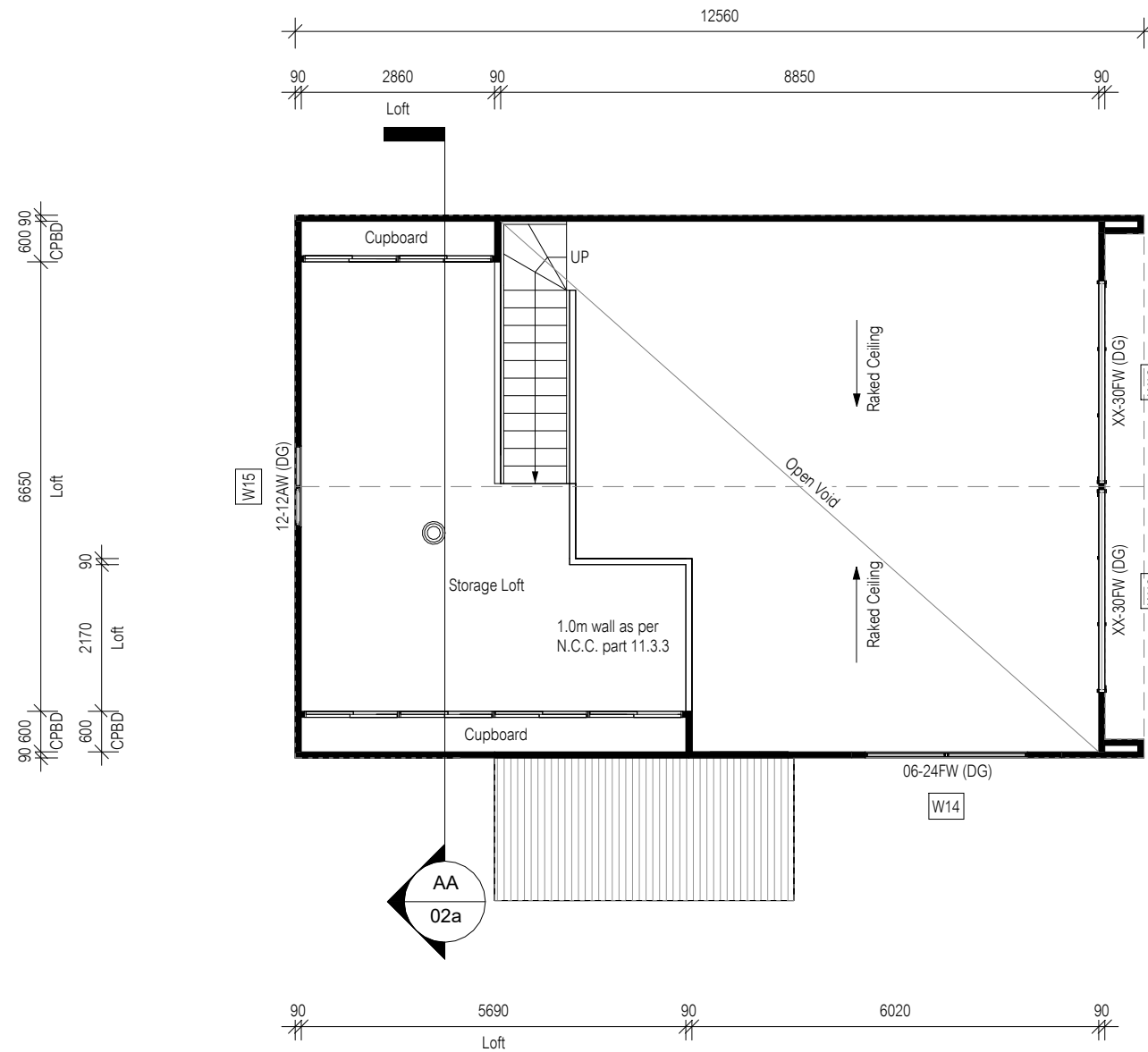
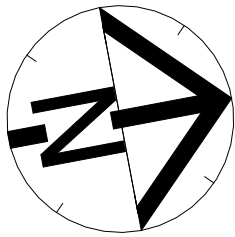


GROUND FLOOR PLAN

Drawn	ST	AP2025-2459
Date	30 June 2025	Sheet
Scale	1 : 100	02/03
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A	24 July 2025	ST
No.	Date	Int.

Amendment changes as per cover sheet



Section AA
SCALE: 1 : 100



A	24 July 2025	ST
No.	Date	Int.

Floor Area = 33.99m ²	All window sizes to be checked and/or confirmed on site prior to ordering glazing units
Articulation joints	
Smoke Alarm (interconnected where more than 1)	
Amendment changes as per cover sheet	

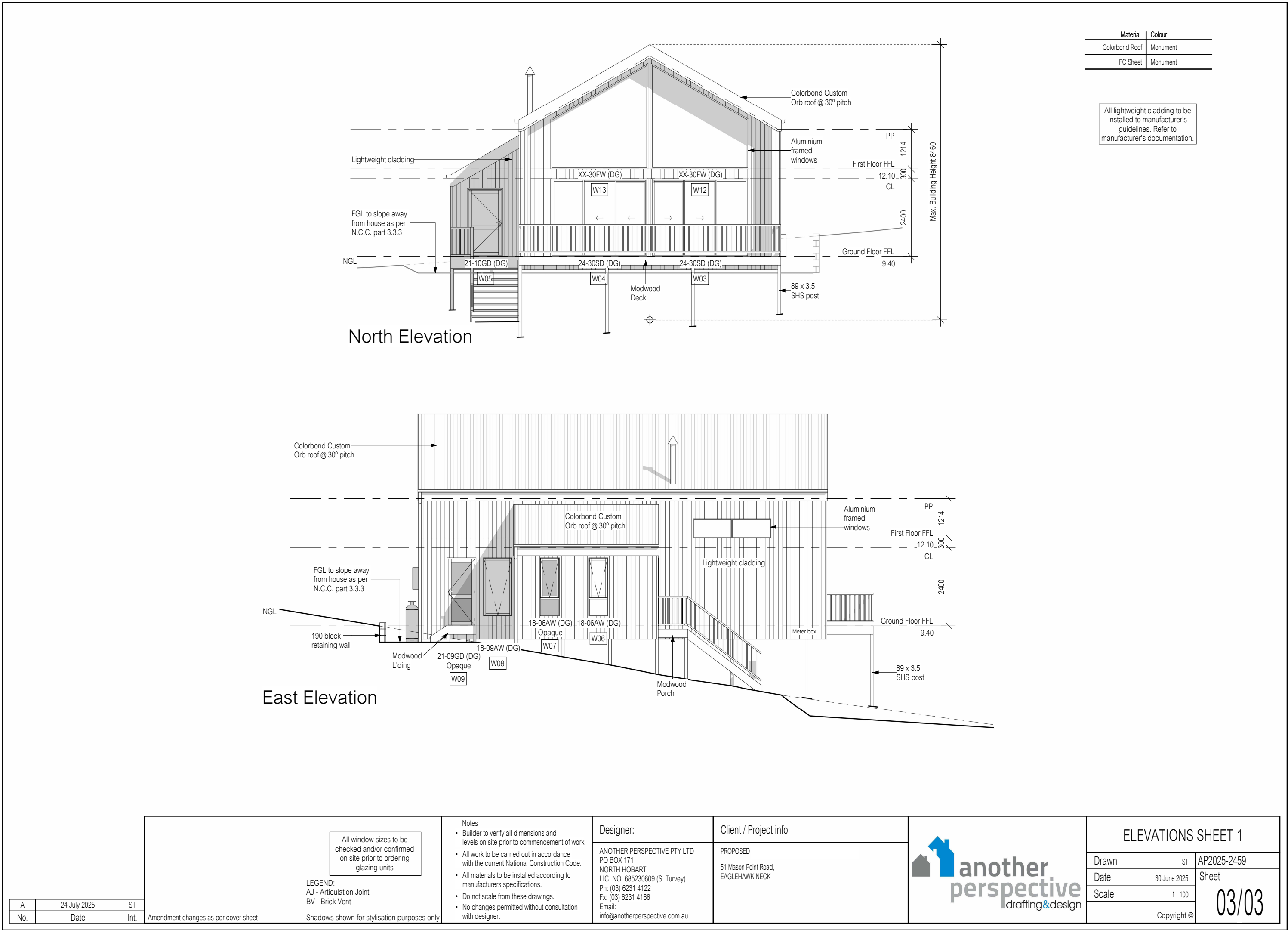
Notes
• Builder to verify all dimensions and levels on site prior to commencement of work
• All work to be carried out in accordance with the current National Construction Code.
• All materials to be installed according to manufacturers specifications.
• Do not scale from these drawings.
• No changes permitted without consultation with designer.

Designer:
ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au

Client / Project info
PROPOSED 51 Mason Point Road, EAGLEHAWK NECK



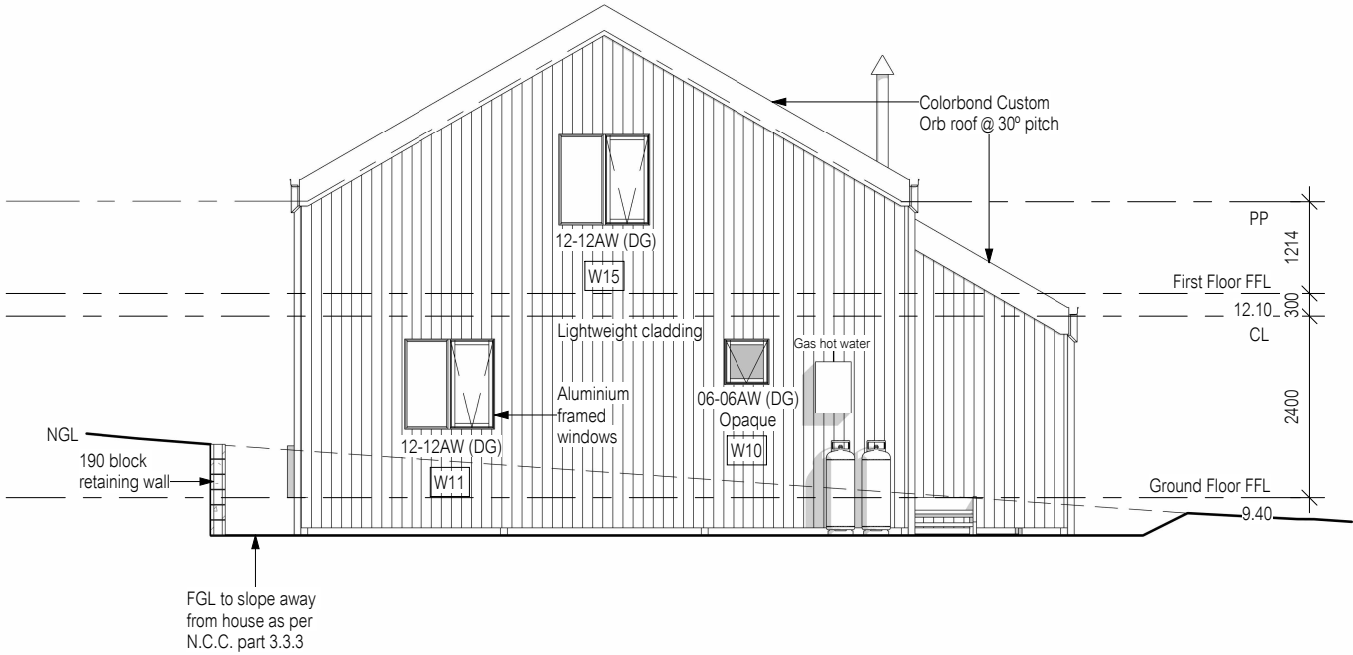
FIRST FLOOR PLAN	
Drawn	ST
Date	30 June 2025
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AP2025-2459	
Sheet	
02a/03	



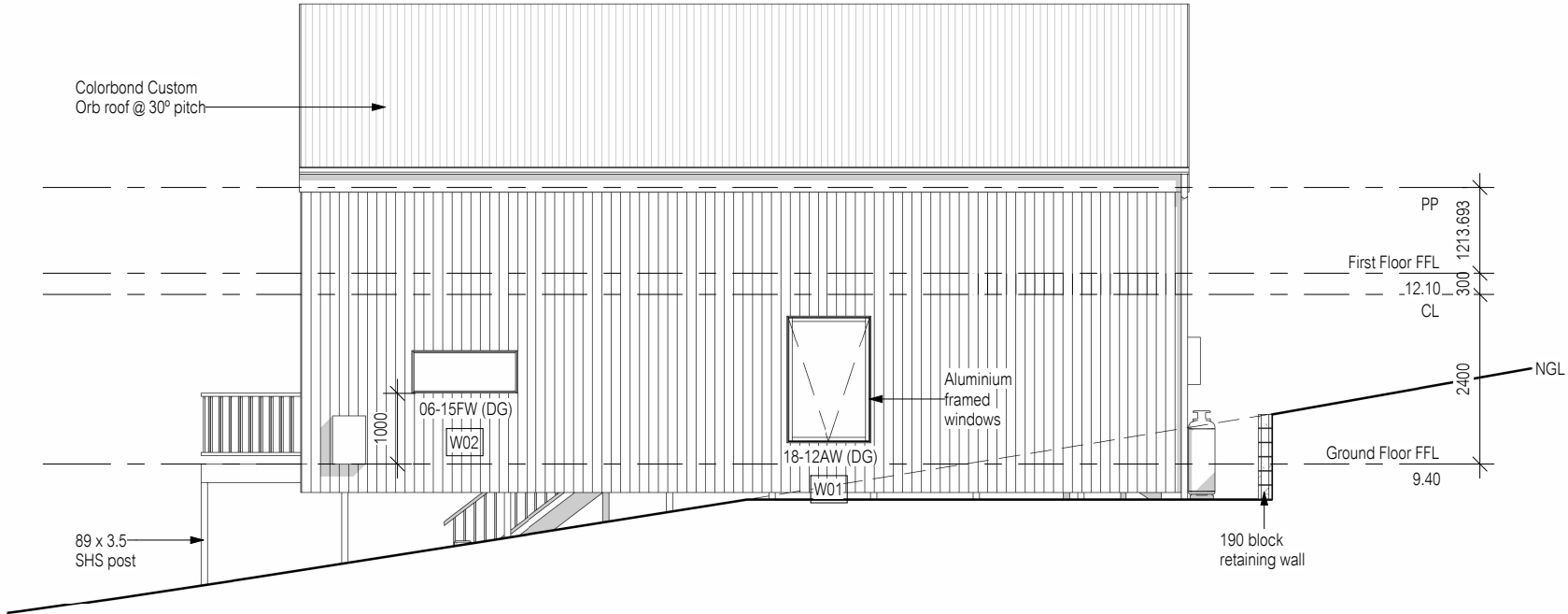
A	24 July 2025	ST
No.	Date	Int.

Material	Colour
Colorbond Roof	Monument
FC Sheet	Monument

All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.



South Elevation



West Elevation

A	24 July 2025	ST
No.	Date	Int.

Amendment changes as per cover sheet

LEGEND:

AJ - Articulation Joint
BV - Brick Vent

Shadows shown for stylisation purposes only

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

Notes

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EAGLEHAWK NECK



ELEVATIONS SHEET 2

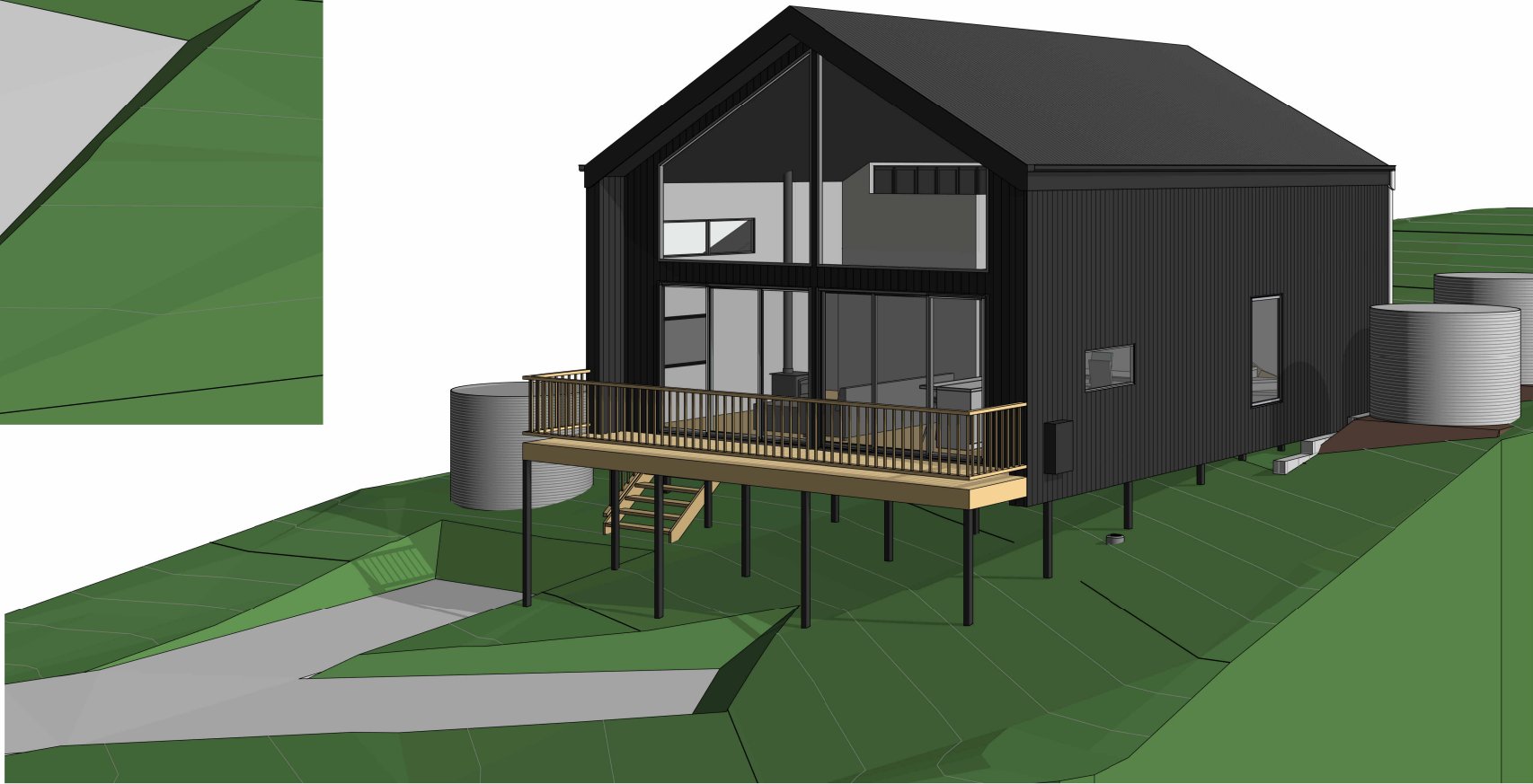
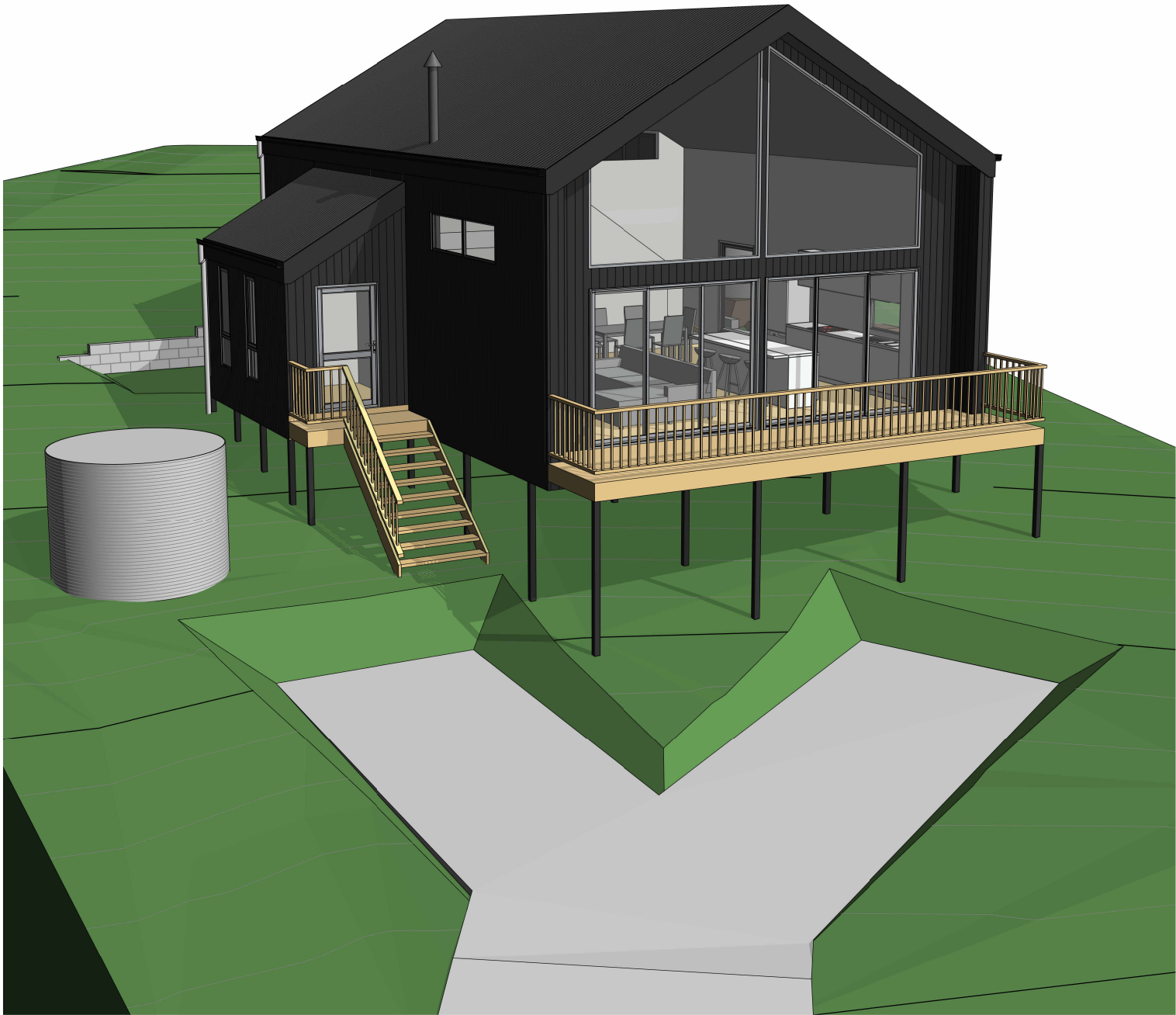
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03a/03



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PERSPECTIVE VIEWS SHEET 1

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PERSPECTIVE VIEWS SHEET 2

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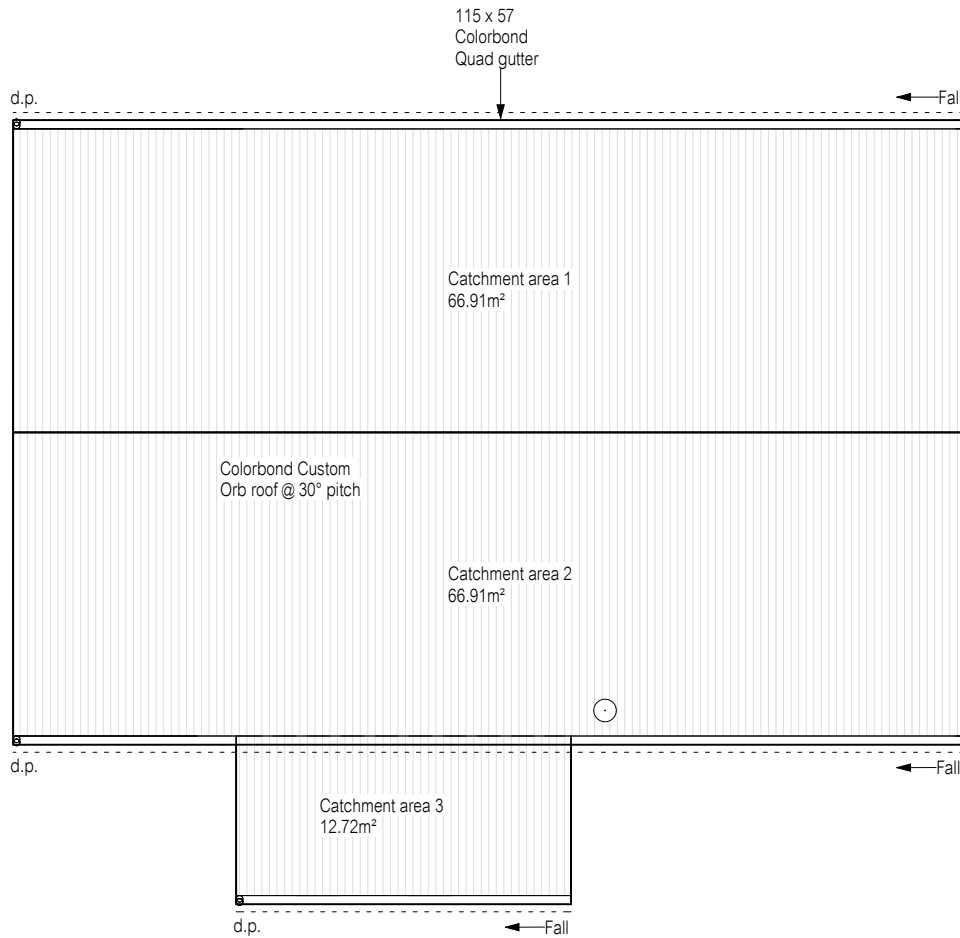
03c/03

GUTTER OVERFLOW
REQUIREMENTS as per
N.C.C. Figure 7.4.6a:
Minimum slot opening area of 1200
mm² per metre of gutter and the lower
edge of the slots installed a minimum
of 25 mm below the top of the fascia.
The acceptable overflow capacity
must be 0.5 L/s/m.

Batten fixings:
100mm type 17, 14g bugle
screws to comply with
AS1684, or refer to AS1684
for alternatives.

Batten spacing:
75 x 38 F8
@ 900 Centre

Colorbond fixings:
50mm M6 11 x 50 EPDM
seal to comply with AS3566
or refer to AS3566 for
alternatives.



Position and quantity of downpipes
are not to be altered without
consultation with designer

Area's shown are surface areas /
catchment areas, not plan areas.

DOWNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)		
Ah¹	110.20	Area of Roof (excluding 115mm Quad gutter) (m²)
Ah²	113.09	Area of Roof (including 115mm Quad gutter) (m²)
Ac	145.89	Ah² x Slope factor (Table 3.2 from AS/NZS 3500.3) (m²)
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm²)
DRI	84.5	Design Rainfall Intensity (determined from Appendix D from AS/NZS 3500.3)
ACDP	76	Catchment area per Downpipe (determined from Figure 3.5.4(A) from AS/NZS 3500.3) (m²)
Required Downpipes	1.92	Ac ÷ Acdp
Downpipes Provided	3	

ROOF VENTILATION:	
REQUIRED: N.C.C. 10.8.3 - Ventilation of roof spaces Table 10.8.3: Roof space ventilation requirements.	
<10°	25,000mm²/m provided at each 2 opposing ends.
≥10° and <15°	25,000mm²/m provided at the eaves and 5,000 mm²/m at high level
≥15° and <75°	7,000 mm²/m provided at the eaves and 5,000 mm²/m at high level, plus an additional 18,000 mm²/m at the eaves if the roof has a cathedral ceiling.
Eaves: = 25,000mm²/m (7,000 + 18,000 due to cathedral ceiling)	
High level (ridge): = 5000mm²/m	
PROVIDED: Eaves : EaveFlo SBP25000 Free open area: 30,144mm²/m	
High level (ridge) : 7500mm²/m (Custom Orb profile air flow)	

EAVES VENT NOTE:
EaveFlo SBP25000 (Refer to manufacturer's
documentation for installation details)

			Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		ROOF PLAN			
No.	Date	Int.		Amendment changes as per cover sheet	ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au		PROPOSED 51 Mason Point Road, EAGLEHAWK NECK	Drawn	ST	AP2025-2459
								Date	30 June 2025	Sheet
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