

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval under the Land Use Planning and Approvals Act 1993, for the following development(s):

NUMBER:	DA 59 / 2025
ADDRESS:	146 Sloping Main Dr, Sloping Main (CT: 89648/2)
DESCRIPTION:	Residential – Alterations and additions to a Dwelling (Retrospective)

All plans and documents submitted with the application can be inspected at the Tasman Council Office, Monday to Friday from 8:30am to 4:30pm. In addition to the statutory requirements, some documents, relevant to the assessment of the application are available on the council website by following this link:

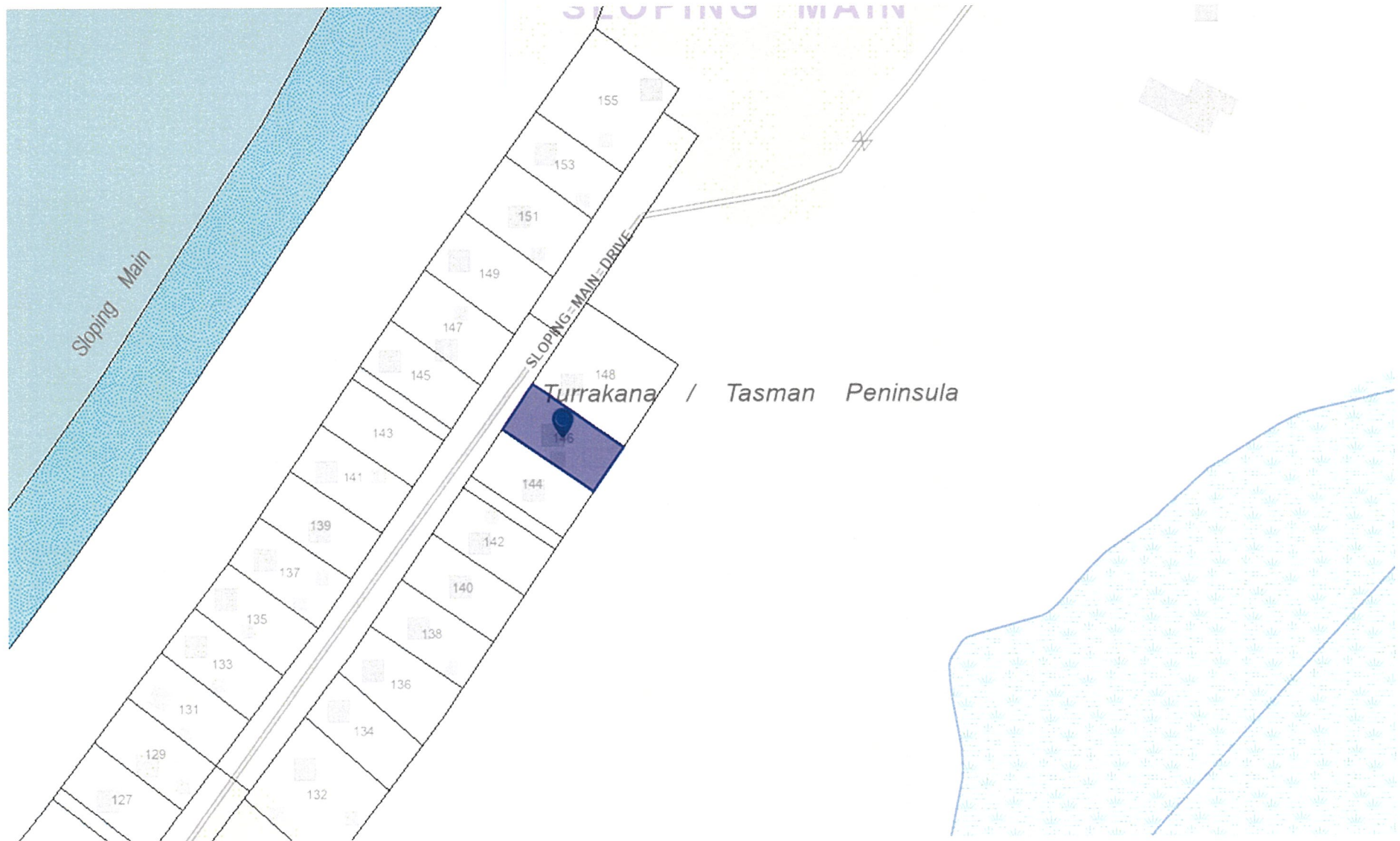
<https://tasman.tas.gov.au/advertised-applications/>, by using the QR Code below, or they are available in hard copy upon request by calling Council on (03) 6250 9200 or email tasman@tasman.tas.gov.au during the period for which representations may be made, until **18 September 2025**

Any person may make a representation relating to the application. Representations are to be made in writing addressed to the General Manager, Tasman Council, 1713 Main Road, Nubeena TAS 7184 or by email to tasman@tasman.tas.gov.au and will be received no later than **18 September 2025**. Late representations will not be considered.



Blake Repine
General Manager
Date: 03 September 2025

DA 59 / 2025 – 146 Sloping Main Dr, Sloping Main (CT: 89648/2)– The relevant plans and documents can be inspected at the Council Offices at 1713 Main Road, Nubeena during normal office hours, or the plans may be viewed on Council's website at www.tasman.tas.gov.au until the date representations close 18 September 2025.
The below image was sourced from The List: <https://maps.thelist.tas.gov.au/listmap/app/list/map>



Application for Planning Permit

The personal information requested on this form is being collected by council for purpose set out in the title of the form. The personal information will be used solely by council for the primary purpose or directly related purposes. The applicant understands that personal information is provided for the above mentioned function and that he/she may apply to council for access to and/or amendment of the information. If an application is made under Section 57 of the Land Use Planning and Approvals Act 1993, a copy of the lodgement documents must be made available for any person to inspect during public notification.

Please note that any information, reports and plans submitted with an application are treated as public documents and may be reproduced for representors, referral authorities and any other persons/bodies interested in the proposal.

Requests for access or correction should be made to Tasman Council's Customer Service Officer.

APPLICANT DETAILS*

FULL NAME	Nik Valentine - Attic Building Design Pty Ltd		
POSTAL ADDRESS	20 Webb Street, Dodges Ferry, TAS	POSTCODE	7173
PHONE (BUSINESS HOURS)		MOBILE:	
EMAIL	nik@theattic.net.au		

NOTE: All Council correspondence will be emailed to the applicant unless otherwise specified.

OWNERS DETAILS (IF DIFFERENT TO APPLICANT DETAILS)*

ENSURE OWNER DETAILS MATCH THE CURRENT CERTIFICATE OF TITLE

FULL NAME			
POSTAL ADDRESS		POSTCODE	
PHONE (BUSINESS HOURS)		MOBILE	

DESCRIPTION OF PROPOSED DEVELOPMENT*

<input type="checkbox"/> New Dwelling	<input checked="" type="checkbox"/> Extension/ Addition	Retrospective Approval For Minor Addition & Lift _____ _____
<input type="checkbox"/> New Shed/ Outbuilding	<input type="checkbox"/> Demolition	
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Visitor Accommodation	
<input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Other (please specify – right)	
<input type="checkbox"/> Commercial/ Industrial Building		

Are any of the components in this application seeking retrospective approval?
E.g. Use and/or development that has commenced without a planning permit.
(If yes, please specify the relevant components)

☒ Yes
☐ No

**Existing Residence - Minor Addition Requiring Retrospective Approval
Due To Owner Needing To Install Lift For Family Member To Access Second Level
Additional Covered Entry and Rear Entry**

PRESENT USE OF LAND/ BUILDING(S)


Existing Residence

LOCATION OF PROPOSED DEVELOPMENT*


ADDRESS	146 Sloping Main Drive, Sloping Main		
CERTIFICATE OF TITLE	89648	LOT NUMBER	2
FLOOR AREA			
Existing floor area (square metres): 131.99 (Lower)		Proposed floor area (square metres): 131.99 (Lower)	
CAR PARKING			
Number existing 2		Number proposed 2	

SITE CONTAMINATION*	
Have any potentially contaminating uses been undertaken on this site? (Refer to list provided on page 5)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
TASMANIAN HERITAGE OR ABORIGINAL HERITAGE REGISTER*	
Is this property on the Tasmanian Heritage or Aboriginal Heritage Register?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
VEGETATION REMOVAL*	
Does the proposal require any vegetation removal? If yes, provide details on the site plan.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
VALUE (mandatory field)	
Value of work (inc. GST)	\$ 100k

DECLARATION BY APPLICANT*

I/ we declare that the information given is a true and accurate representation of the proposed development; and I/ we am/ are liable for the payment of Council application processing fees, even in the event of the development not proceeding; and I/ we authorise Tasman Council to provide a copy of my documents relating to this application to any person for the purpose of assessment and public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.	
SIGNATURE OF APPLICANT	
NAME OF APPLICANT (PLEASE PRINT)	Nik Valentine
DATE	15-07-25

DECLARATION IF APPLICANT IS NOT THE OWNER

I hereby declare that I am the applicant for the development at the address detailed in this application for a planning permit, and that I have notified the owner/s of the land for which I am making this application, in accordance with Section 52(1a) of the <i>Land Use Planning and Approvals Act 1993</i> .	
SIGNATURE OF APPLICANT	
NAME OF APPLICANT (PLEASE PRINT)	Nik Valentine
DATE	15-07-25
NAME/S OF OWNER/S NOTIFIED	
DATE	19-05-25

DECLARATION IF LAND IS COUNCIL OR CROWN LAND

If the land that is the subject of this application is owned or administered by either the Crown or Tasman Council, the consent of the Minister of the Crown or the General Manager of the Council, whichever is applicable, must be included here. This consent should be completed and signed by either the Minister, the General Manager of Tasman Council, or their delegate (as specified in Subsections 52(1d-1g) of the <i>Land Use Planning and Approvals Act 1993</i>).	
DECLARATION	<p>I, _____</p> <p>being responsible for the administration of land at _____</p> <p>declare that I have given permission for the making of this application.</p>
SIGNATURE OF MINISTER/ GENERAL MANAGER	
DATE	

NON-RESIDENTIAL DEVELOPMENTS

Note: This section must be completed for all applications for non-residential uses, home occupations and domestic/ residential businesses or other managed/ commercial residential uses (e.g. hostel or motel).

HOURS OF BUSINESS			
CURRENT		PROPOSED	
Monday to Friday		Monday to Friday	
Saturday		Saturday	
Sunday		Sunday	
NUMBER OF EMPLOYEES			
CURRENT		PROPOSED	
Total Employees		Total Employees	
Employees on Site		Employees on Site	
PLANT/ MACHINERY			
Is there any large plant or machinery that would need to be installed or used on site such as refrigeration units and generators? (If yes, please list below the type of machinery and ensure location, dimensions etc are clearly marked on your plans.)			<input type="checkbox"/> Yes <input type="checkbox"/> No
OUTDOOR STORAGE/ SEATING/ NUMBER OF BEDS			
Is outdoor storage proposed? (If yes, please ensure that your plans show where the outdoor storage areas are and what type of goods are stored. This information will help us assess the impact of the proposal on the amenity.			<input type="checkbox"/> Yes <input type="checkbox"/> No
If you are proposing a night club, café or the like, what is the number of seats proposed including the capacity at any bar area?		Please ensure that the arrangements are shown on your plans. This information enables us to assess the car parking arrangements.	
If you are proposing a hotel, motel, visitor accommodation, hostel or the like, what is the number of beds proposed?		Please ensure the beds are clearly indicated on your plans. This information enables us to assess the car parking arrangements.	
GOODS DELIVERIES			
Will there be any goods deliveries to and from the site? (If yes, please estimate the number and type of vehicles and how often they will make trips.)			<input type="checkbox"/> Yes <input type="checkbox"/> No
Type and Size of Vehicle		Number of Vehicles on Site	
Trip Frequency per Month			

PLANNING PERMIT – APPLICATION CHECKLIST

To ensure that we can process your application as quickly as possible, please read the following checklist carefully to ensure that you have provided the following at the time of lodging the application. If you are unclear on any aspect of your application, please phone **(03) 6250 9200** to discuss or arrange an appointment concerning your proposal. Note that, in accordance with Section 54 of the *Land Use Planning and Approvals Act 1993*, Council may require additional information.

Please complete the below checklist

- ☐ **Completed Application Form**
 - All sections and filled out correctly and owner details match those listed on the title documents
 - Application form includes a detailed cost estimate of the proposal
- ☐ **Written Submission**
 - Description of the proposed development
 - Justification addressing the Performance Criteria (if applicable)
- ☐ **Title Documents**
 - Current copy of the Certificate of Title (Folio Plan and Text Page)
 - Copies of any restrictive covenants, easements, or other relevant documents.
- ☐ **Site Plan**
 - Drawn to scale
 - Shows the location of the proposed development
 - Includes existing structures, property boundaries, access points and any natural features (vegetation and waterways)
- ☐ **Floor Plan and Elevations**
 - Detailed floor plans of the proposed development
 - Elevations showing the height and external appearance
- ☐ **Stormwater and Servicing Plan**
 - Details on how stormwater will be managed on-site
 - Information about connections to utilities (water, sewer, electricity)
 - Elevations showing the height and external appearance
- ☐ **Landscaping Plan (if applicable)**
 - Details of existing vegetation to be retained or removed
- ☐ **Supporting Reports and Assessments (if applicable)**
 - Bushfire Hazard Management Plan and Report
 - Traffic Impact Assessment
 - Natural Values Assessment
 - Onsite Wastewater Assessment

Dated: **15-07-25**

Signed:



Please note that application fees will be invoiced upon initial assessment.
Planning application assessment fees excluding subdivision assessment:

POTENTIALLY CONTAMINATING ACTIVITIES	
Agricultural Fertiliser Manufacture	Metal Founders
Asbestos Production and Manufacture	Metal Sprayers
Battery Manufacture and Recycling	Metal Treatments and Picklers
Chemical Manufacture or Formation	Mining and Extractive Industries
Defence Establishments and Training Areas	Pest Controllers (being areas where pest control chemicals are stored or vehicles and tanks used in connection with pest control are washed.)
Drum Reconditioning Wastes	Petroleum and Petrochemical Industries
Dry Cleaning Establishments	Pharmaceutical Manufacture or Formation
Electroplating	Printers
Explosives Production and Storage	Railway Yards
Fuel Depots and Storage Areas	Sanitary and Refining
Galvanisers	Scrap Yards
Gas Works	Service Stations
Gun, Pistol and Rifle Clubs	Smelting and Refining
Hazardous Waste Landfills	Tannery or Fellmongery or Hide Curing Works
Industrial Cleaners	Wood Treatment and Preservation Sites
Lime Burners	

SEARCH OF TORRENS TITLE

VOLUME 89648	FOLIO 2
EDITION 2	DATE OF ISSUE 14-Apr-2003

SEARCH DATE : 14-Jul-2025

SEARCH TIME : 02.58 PM

DESCRIPTION OF LAND

Parish of TOGANEE, Land District of PEMBROKE
Lot 2 on Plan 89648 (formerly being P1591(B))
Derivation : Part of Lot 6995 Gtd to
Prior CT 2117/11

SCHEDULE 1

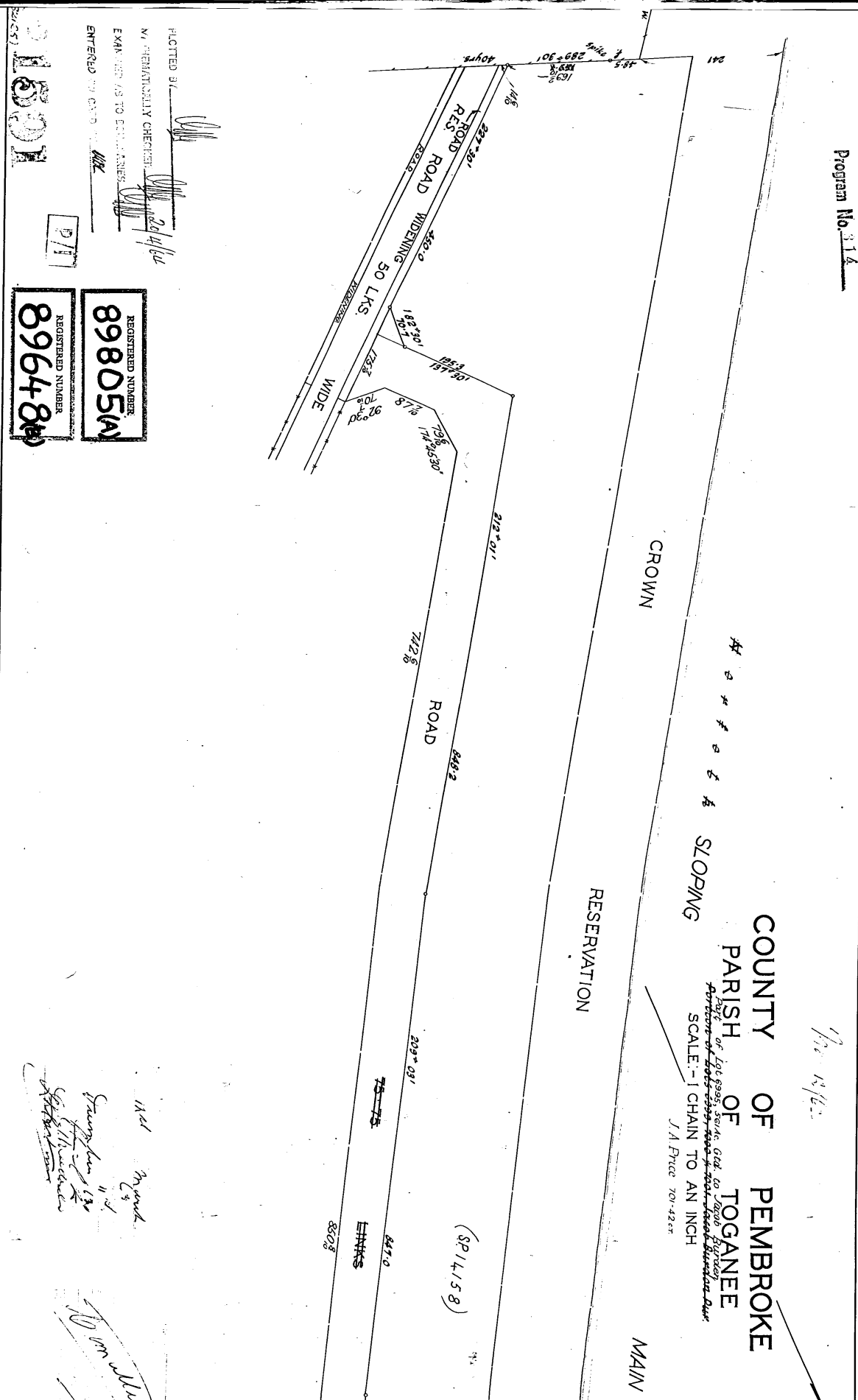
C437682 TRANSFER to
Registered 14-Apr-2003 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
A225445 EASEMENTS set forth in Order
A225445 FENCING COVENANT set forth in Order

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



COUNTY OF PEMBROKE
PARISH OF TOGANEE
Port of Lot 6995, s.e.1/4, Gtd. to Jacob Hurden
Portion of Lot 6995, s.e.1/4, Gtd. to Jacob Hurden
SCALE: - 1 CHAIN TO AN INCH
J.A. Price 701-42-ct

RESERVATION

MAIN

100 FEET

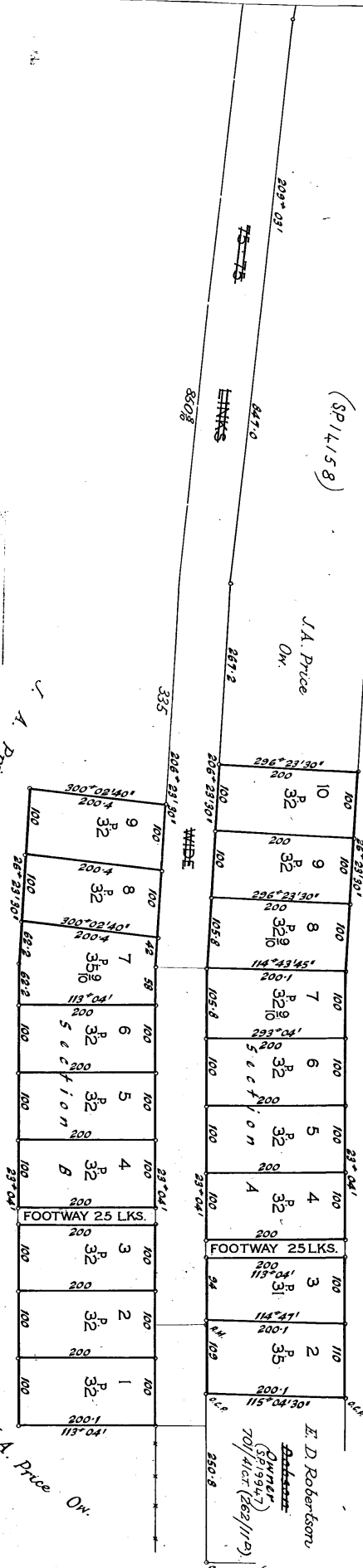
WIDE

REGISTERED NUMBER 89805(A) 89648(B)

P/I

NEW SERIES TITLES
SEE
NOTES

14-551



I Eric Barrie Valentine, of Sandy Bay, Registered Surveyor, of Tasmania, do hereby certify that this plan has been made from surveys executed by me or under my own personal supervision, inspection and field check, and that both plan and survey are correct, and have been made in accordance with the Land Surveyors Act No. 2 dated 1917, 1946.

Eric Barrie Valentine
Authorized Surveyor

Dated this 14th day of December 1982



PROPOSED RETROSPECTIVE APPROVAL FOR:
DAVIES

146 SLOPING MAIN DRIVE, SLOPING MAIN
TAS 7186

VOLUME: TBC	FOLIO: TBC	LOT NO: TBC
CLIMATE ZONE: 7	WIND CLASS: N3/4	BAL: N/A
BUILDING CLASS: TBC	SITE AREA: TBC m²	ALPINE AREA: N/A BCA FIGURE 3.7.5.2
SOIL CLASS: TBC		

CORROSION ENVIRONMENT: N/A - FOR STEEL SUBJECT TO THE INFLUENCE OF SALT WATER, BREAKING SURF OR HEAVY INDUSTRIAL AREAS, REFER TO BCA SECTION 3.4.2.2 & BCA TABLE 3.4.4.2 CLADDING AND FIXINGS TO MANUFACTURER'S RECOMMENDATIONS

OTHER HAZARDS: **N/A** - HIGH WIND, EARTHQUAKE, FLOODING, LANDSLIP, DISPERSIVE SOILS, SAND DUNES, MINE SUBSIDENCE, LANDFILL, SNOW & ICE OR OTHER RELEVANT FACTORS

BAL - 12.5
REQUIRED BUSHFIRE CONSTRUCTION LEVEL

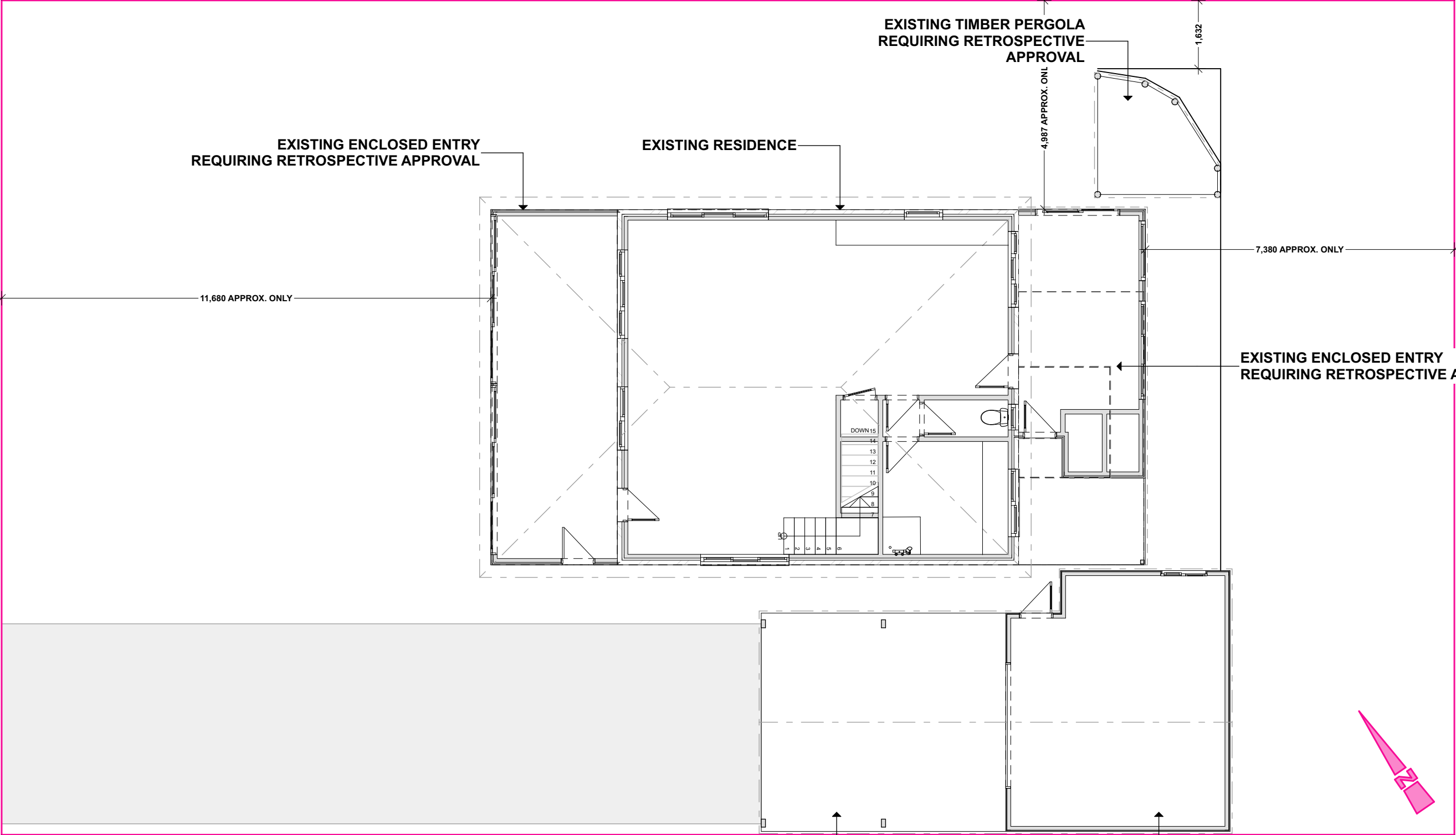
STAGE 1	
1	COVER PAGE
2	PLANNING SCHEME ASSESSMENT
3	EXISTING LOCATION PLAN LG
4	EXISTING LOCATION PLAN L1
5	EXISTING / DEMOLITION PLAN LG
6	EXISTING / DEMOLITION PLAN L1
7	PROPOSED LOCATION PLAN LG
8	PROPOSED FLOOR PLAN LG
9	PROPOSED FLOOR PLAN L1
STAGE 2	
10	EXISTING ELEVATIONS 1
11	EXISTING ELEVATIONS 2

LOW DENSITY RESIDENTIAL ZONE
TASMANIAN PLANNING SCHEME

SCHEME	PROVISION	ACCEPTABLE SOLUTION	PERFORMANCE CRITERIA	COMPLIANCE	DEVELOPMENT RESPONSE
10.4.3	Setback	A1 Dwellings, excluding protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage not less than 8m.	P1 The siting of a dwelling must be compatible with the streetscape and character of development existing on established properties in the area, having regard to: (a) the topography of the site; (b) the setbacks of surrounding buildings; (c) the height, bulk and form of existing and proposed buildings; (d) the appearance when viewed from roads and public open space adjacent to the site; and (e) the safety of road users.	PERFORMANCE ASSESSMENT APPLIED	<p>(a) The proposed new water tank, which is required to be sited closer to the front fence for firefighting access, will not impede on any use of the adjacent sites, whilst also having regard to the potential BHMP and BAL requirements. The topography of the site is relatively flat and hence this should reduce any dominance from the proposed waster tank location.</p> <p>(b) Given the high prevalence of structures built on the front boundary, either with carports or sheds, all along this road, we do not feel that the presence of a water tank will be out of character when comparing this to surrounding buildings.</p> <p>(c) The proposed water tank is relatively low in height and is unlikely to dominate the streetscape, when compared to other structures adjacent to this site, such as carports and sheds.</p> <p>(d) The appearance of the proposed tank is smaller than that of surrounding structures which are also located on the front boundary. This being said, we have attempted to locate the tank in the corner of the property, near the fence, to ensure that this does not detract away from any adjacent buildings.</p> <p>(e) The safety of road users will not be altered by the location of this new tank.</p> <p>In addition to the above, it's also worth noting that by locating the water tank close to the front fence, this will avoid the need for our clients to pave the entirety of their front yard, for firefighting road access.</p>
		A2 Dwellings, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally from the building, must have a setback from side and rear boundaries of not less than 5m.	P2 The siting of a dwelling must not cause an unreasonable loss of amenity to adjoining properties, having regard to: (a) the topography of the site; (b) the size, shape and orientation of the site; (c) the setbacks of surrounding buildings; (d) the height, bulk and form of existing and proposed buildings; (e) the existing buildings and private open space areas on the site; (f) sunlight to private open space and windows of habitable rooms on adjoining properties; and (g) the character of development existing on established properties in the area.	PERFORMANCE ASSESSMENT APPLIED	<p>The proposed new water tank has been placed closer to the side setback to ensure that this is not visible to the neighbours (from their living areas) nor the occupants of the site address. We feel that this provides a better outcome aesthetically, rather than this being placed in the middle of the front yard, which would be required if we were to comply with the relevant setbacks.</p> <p>(a) The topography of the site is relatively flat and hence this should reduce any dominance from the proposed waster tank location.</p> <p>(b) The size and shape and orientation of the site will not be impeded in any way by the proposed water tank.</p> <p>(c) As noted above, given the high prevalence of structures built on the side boundaries within the immediate area, we do not feel that the presence of a water tank will be out of character when comparing this to surrounding buildings / sites.</p> <p>(d) As also noted above, the appearance of the proposed tank is smaller than that of surrounding structures which are also located on the side boundaries, so we believe that the height and bulk of this new tank will be less than that of nearby developments with similar setbacks.</p> <p>(e) The proposed siting will allow the owners to better utilise their front yard (and private open space).</p> <p>(f) The proposed siting will allow the owners to receive more sunlight into their front windows, in comparison to the reduction that would occur if the new tank was to comply with these setbacks. Furthermore, we do not believe that the proposed new tank will significantly impact the adjoining properties private open space or habitable rooms.</p> <p>(g) As we touched on above, given the high prevalence of structures built on the side boundaries within the immediate area, we do not feel that the presence of a water tank will be out of character when comparing this to surrounding buildings / sites.</p>

ALL CONTRACTORS TO OBTAIN ABOVEGROUND AND BELOWGROUND ASSET INFORMATION BEFORE WORKS COMMENCE ON SITE

SLOPING MAIN DRIVE



IMPORTANT: BUILDER TO VERIFY ALL EXISTING AND PROPOSED DIMENSIONS ON SITE, BOTH PRIOR TO & DURING CONSTRUCTION

© THIS PLAN MAY NOT BE USED OR MODIFIED FOR ANY PURPOSE WITHOUT THE CONSENT OR LICENSE FROM ATTIC BUILDING DESIGN PTY LTD

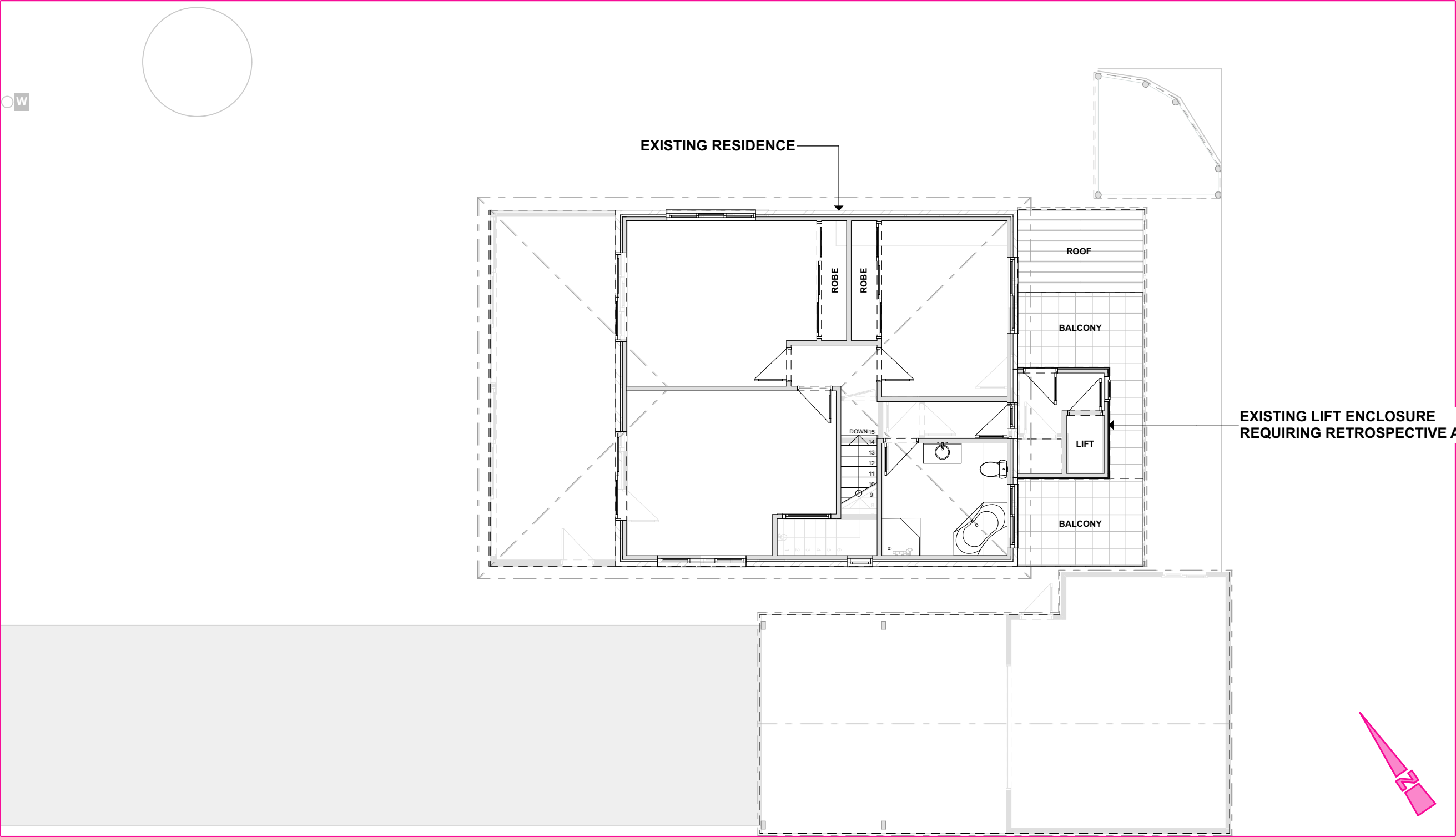
DAVIES

NEW RETROSPECTIVE APPROVAL
146 SLOPING MAIN DRIVE,
SLOPING MAIN, TAS 7186
DATE: 28/8/2025 SIZE: A2 SCALE:1:100
JOB: #ATT1671 DRAWN: N VALENTINE
EMAIL: NIK@THEATTIC.NET.AU



ALL CONTRACTORS TO OBTAIN ABOVEGROUND AND BELOWGROUND ASSET INFORMATION BEFORE WORKS COMMENCE ON SITE

SLOPING MAIN DRIVE



IMPORTANT: BUILDER TO VERIFY ALL EXISTING AND PROPOSED DIMENSIONS ON SITE, BOTH PRIOR TO & DURING CONSTRUCTION

© THIS PLAN MAY NOT BE USED OR MODIFIED FOR ANY PURPOSE WITHOUT THE CONSENT OR LICENSE FROM ATTIC BUILDING DESIGN PTY LTD

DAVIES

NEW RETROSPECTIVE APPROVAL
146 SLOPING MAIN DRIVE,
SLOPING MAIN, TAS 7186

DATE: 28/8/2025 SIZE: A2 SCALE:1:100
JOB: #ATT1671 DRAWN: N VALENTINE
EMAIL: NIK@THEATTIC.NET.AU



IMPORTANT:
BUILDER TO VERIFY ALL EXISTING AND PROPOSED DIMENSIONS ON SITE, BOTH PRIOR TO & DURING CONSTRUCTION

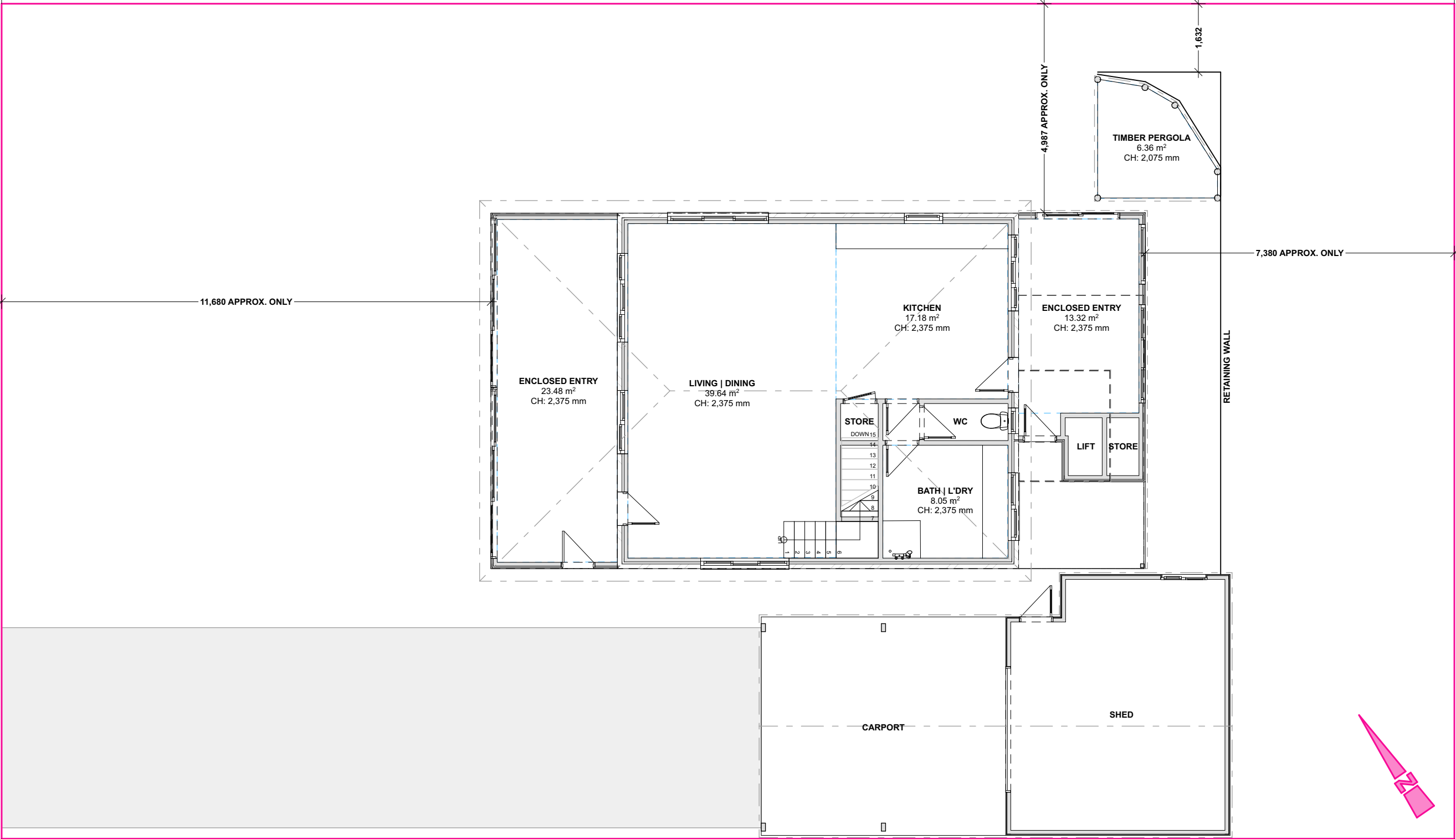
W000 WINDOW ID

D000 DOOR ID

ALL PROPOSED SHOWER(S) TO BE ENCLOSED U.N.O

NOTE:
MECHANICAL VENTILATION TO BE PROVIDED IN ACCORDANCE
WITH PART 3.8.5 of BCA/NCC TO AMENITY AREAS, WHERE
NATURAL VENTILATION IS NOT ACHIEVABLE.

SLOPING MAIN DRIVE



DAVIES

NEW RETROSPECTIVE APPROVAL
146 SLOPING MAIN DRIVE,
SLOPING MAIN, TAS 7186
DATE: 28/8/2025 SIZE: A2 SCALE:1:100
JOB: #ATT1671 DRAWN: N VALENTINE
EMAIL: NIK@THEATTIC.NET.AU



IMPORTANT:
BUILDER TO VERIFY ALL EXISTING AND PROPOSED DIMENSIONS ON SITE, BOTH PRIOR TO & DURING CONSTRUCTION

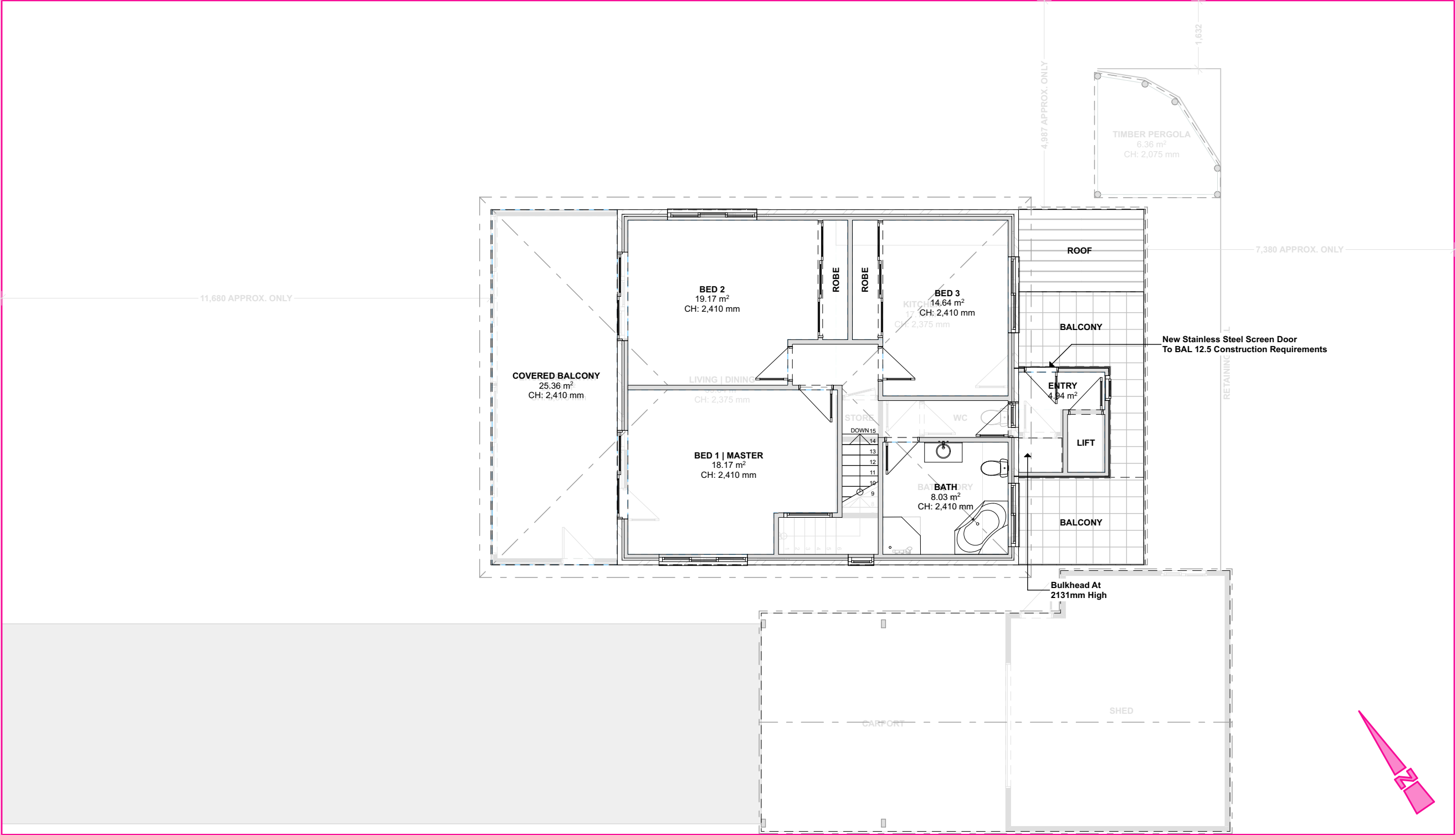
W00 WINDOW ID

D00 DOOR ID

ALL PROPOSED SHOWER(S) TO BE ENCLOSED U.N.O

NOTE:
MECHANICAL VENTILATION TO BE PROVIDED IN ACCORDANCE
WITH PART 3.8.5 of BCA/NCC TO AMENITY AREAS, WHERE
NATURAL VENTILATION IS NOT ACHIEVABLE.

SLOPING MAIN DRIVE



DAVIES

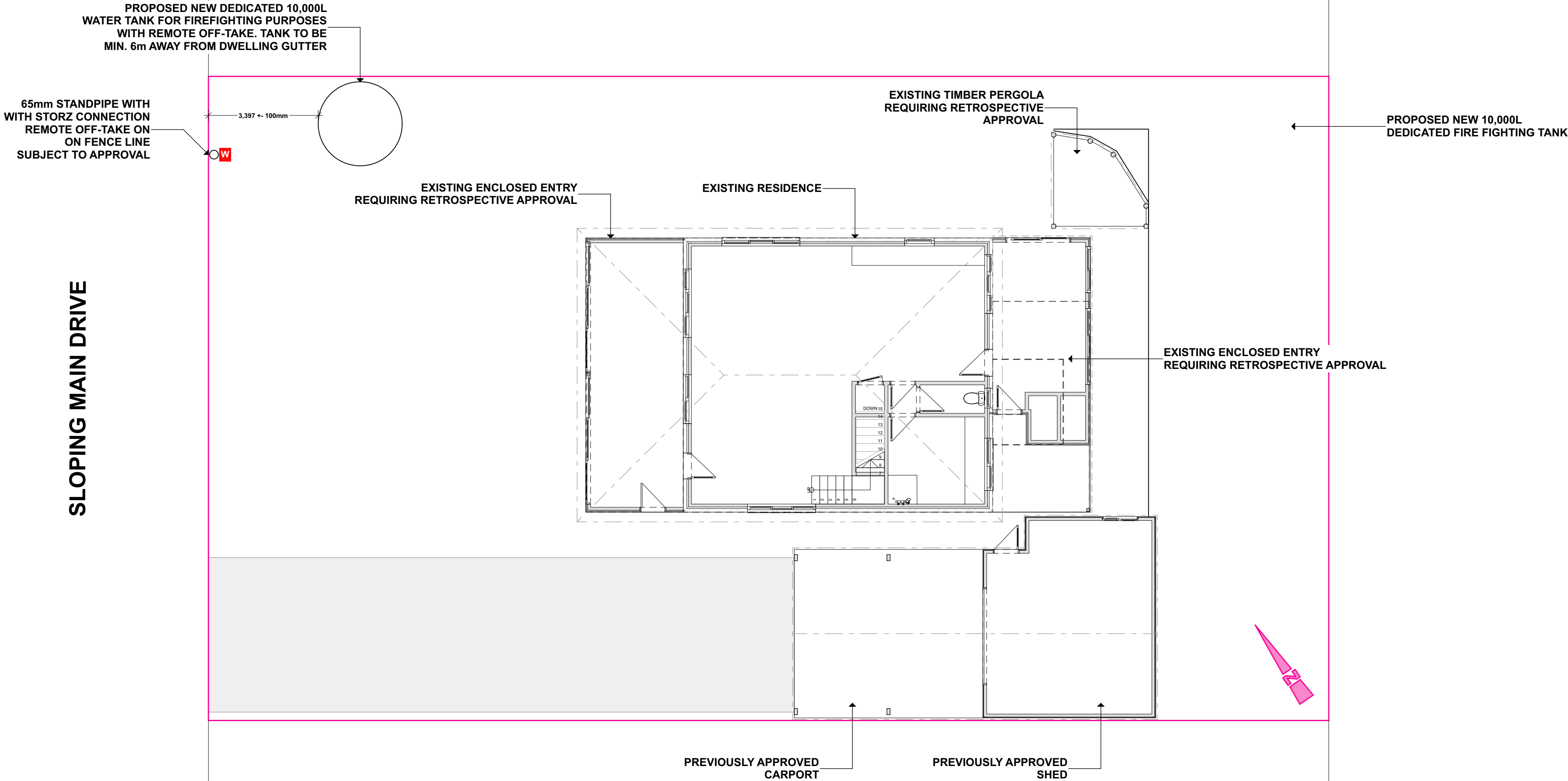
NEW RETROSPECTIVE APPROVAL
146 SLOPING MAIN DRIVE,
SLOPING MAIN, TAS 7186

DATE: 28/8/2025 SIZE: A2 SCALE: 1:100
JOB: #ATT1671 DRAWN: N VALENTINE
EMAIL: NIK@THEATTIC.NET.AU



EXISTING / DEMOLITION PLAN L1 6

ALL CONTRACTORS TO OBTAIN ABOVEGROUND AND BELOWGROUND ASSET INFORMATION BEFORE WORKS COMMENCE ON SITE



IMPORTANT: BUILDER TO VERIFY ALL EXISTING AND PROPOSED DIMENSIONS ON SITE, BOTH PRIOR TO & DURING CONSTRUCTION

© THIS PLAN MAY NOT BE USED OR MODIFIED FOR ANY PURPOSE WITHOUT THE CONSENT OR LICENSE FROM ATTIC BUILDING DESIGN PTY LTD

DAVIES

NEW RETROSPECTIVE APPROVAL
146 SLOPING MAIN DRIVE,
SLOPING MAIN, TAS 7186

DATE: 28/8/2025 SIZE: A2 SCALE:1:100
JOB: #ATT1671 DRAWN: N VALENTINE
EMAIL: NIK@THEATTIC.NET.AU

attic

PROPOSED LOCATION PLAN LG 7

IMPORTANT:
BUILDER TO VERIFY ALL EXISTING AND PROPOSED DIMENSIONS ON SITE, BOTH PRIOR TO & DURING CONSTRUCTION

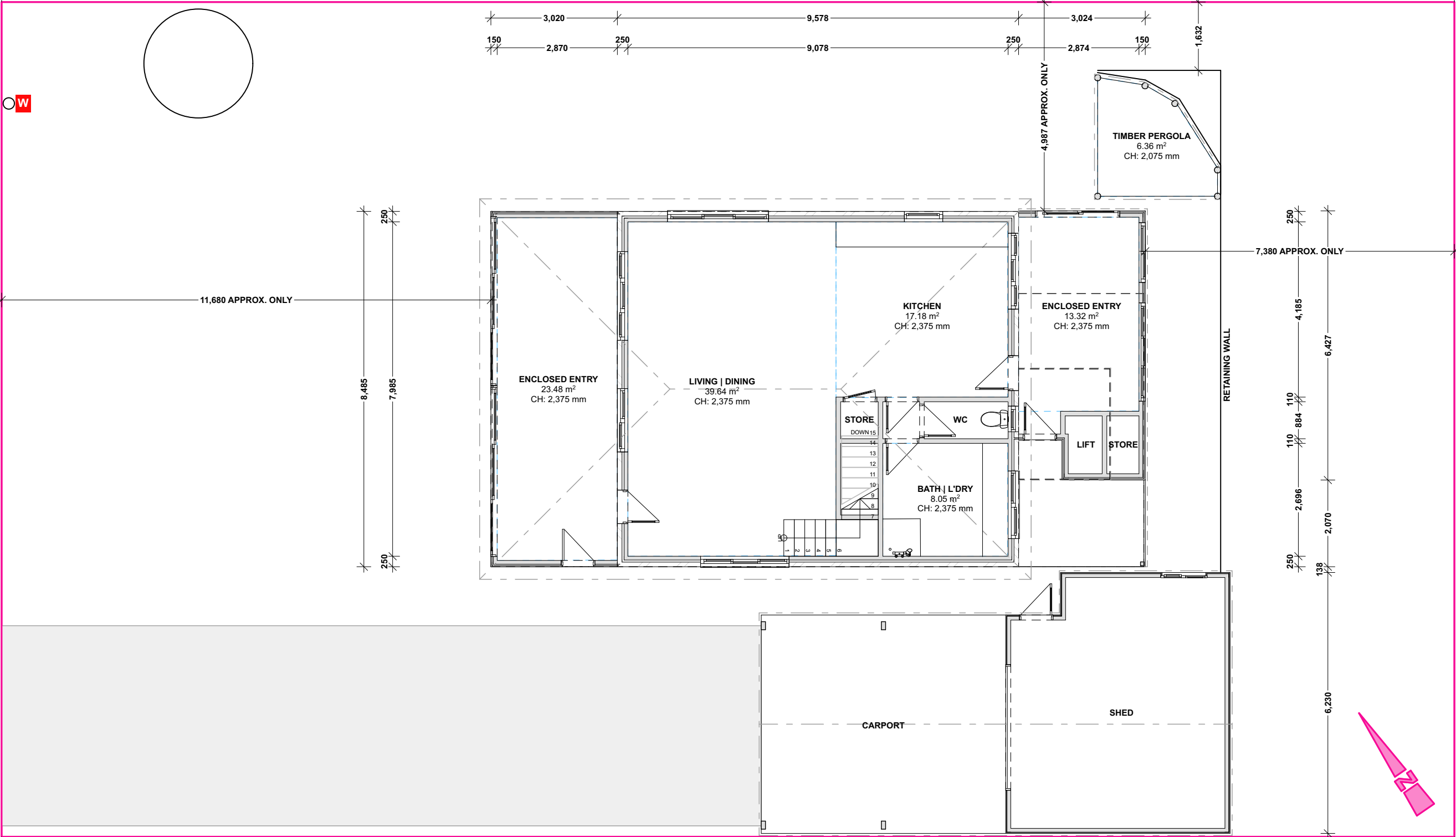
W00 WINDOW ID

D00 DOOR ID

ALL PROPOSED SHOWER(S) TO BE ENCLOSED U.N.O

NOTE:
MECHANICAL VENTILATION TO BE PROVIDED IN ACCORDANCE
WITH PART 3.8.5 of BCA/NCC TO AMENITY AREAS, WHERE
NATURAL VENTILATION IS NOT ACHIEVABLE.

SLOPING MAIN DRIVE



DAVIES

NEW RETROSPECTIVE APPROVAL
146 SLOPING MAIN DRIVE,
SLOPING MAIN, TAS 7186

DATE: 28/8/2025 SIZE: A2 SCALE: 1:100
JOB: #ATT1671 DRAWN: N VALENTINE
EMAIL: NIK@THEATTIC.NET.AU



PROPOSED FLOOR PLAN LG 8

IMPORTANT:
BUILDER TO VERIFY ALL EXISTING AND PROPOSED DIMENSIONS ON SITE, BOTH PRIOR TO & DURING CONSTRUCTION

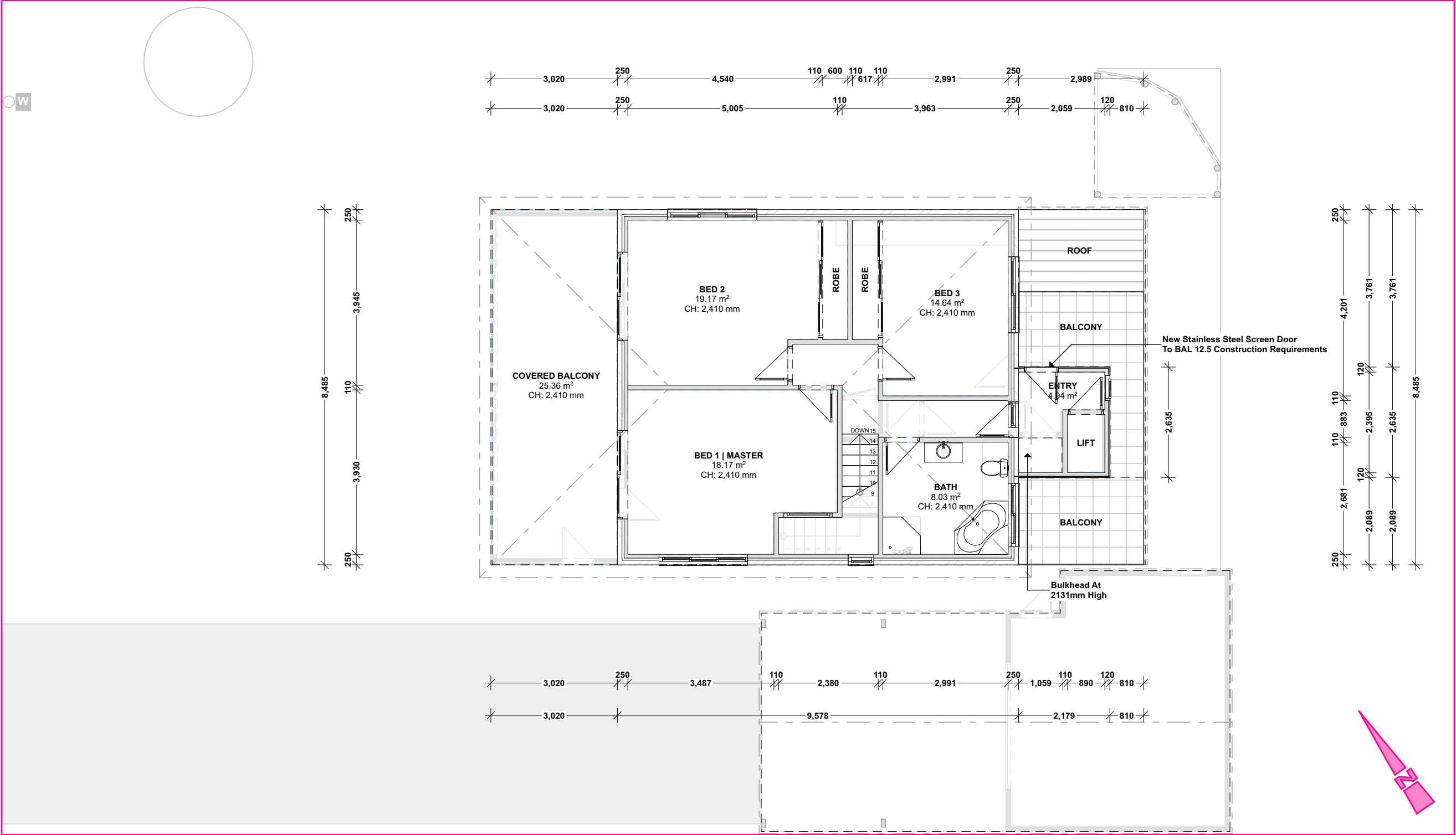
W00 WINDOW ID

D00 DOOR ID

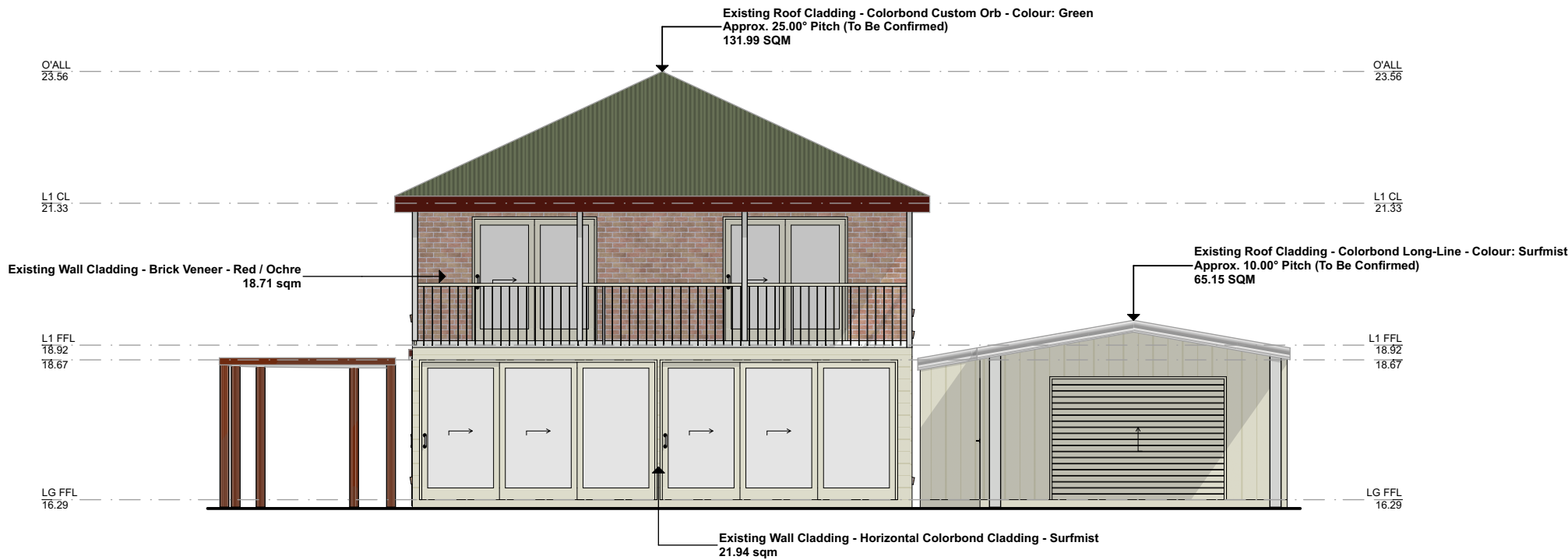
ALL PROPOSED SHOWER(S) TO BE ENCLOSED U.N.O

NOTE:
MECHANICAL VENTILATION TO BE PROVIDED IN ACCORDANCE
WITH PART 3.8.5 of BCA/NCC TO AMENITY AREAS, WHERE
NATURAL VENTILATION IS NOT ACHIEVABLE.

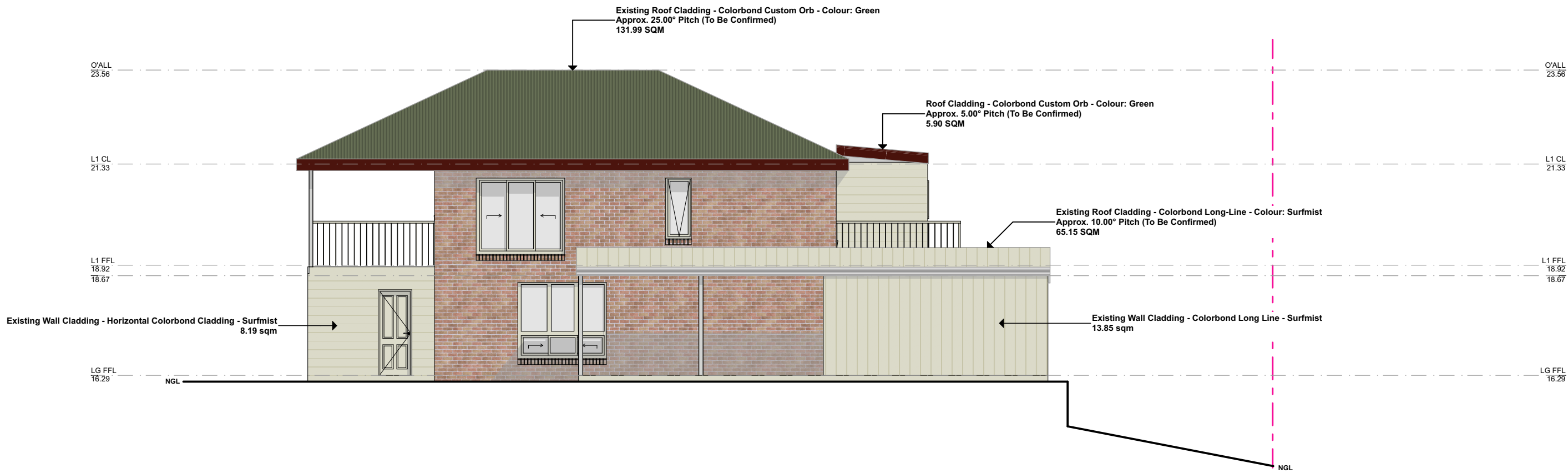
SLOPING MAIN DRIVE



IMPORTANT:
BUILDER TO VERIFY ALL EXISTING AND PROPOSED DIMENSIONS ON SITE, BOTH PRIOR TO & DURING CONSTRUCTION
OPERABLE WINDOWS & DOORS MAY BE SHOWN IN THEIR OPEN STATE, FOR ILLUSTRATIVE PURPOSES ONLY



NORTH WEST | ELEVATION



SOUTH WEST | ELEVATION

IMPORTANT:
ALL WINDOWS LOCATED 2.0m ABOVE THE SURFACE BENEATH ARE TO BE PROVIDED WITH WINDOW RESTRICTORS TO REFLECT A MAXIMUM OPENING OF 124mm, TO RESIST AN OUTWARD HORIZONTAL ACTION OF 250N IN ACCORDANCE WITH NCC PART 3.9.2.5
WHERE THE RESTRICTING DEVICE OR SCREEN CAN BE REMOVED, UNLOCKED OR OVERRIDDEN, A PERMANENT BARRIER WITH A HEIGHT NOT LESS THAN 865mm ABOVE THE FLOOR IS REQUIRED TO THE OPENABLE WINDOW, IN ADDITION TO WINDOW PROTECTION. THE BARRIER MUST NOT HAVE ANY HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150mm AND 760mm ABOVE THE FLOOR THAT FACILITATE CLIMBING.
GRADE 'A' SAFETY GLAZING IS REQUIRED TO ALL WINDOWS WITHIN 500mm OFF THE FLOOR, WITHIN 300mm OF A DOOR, WITHIN 2000mm OFF THE FLOOR IN ALL WET AREAS AND IS SUSCEPTIBLE TO HUMAN IMPACT.

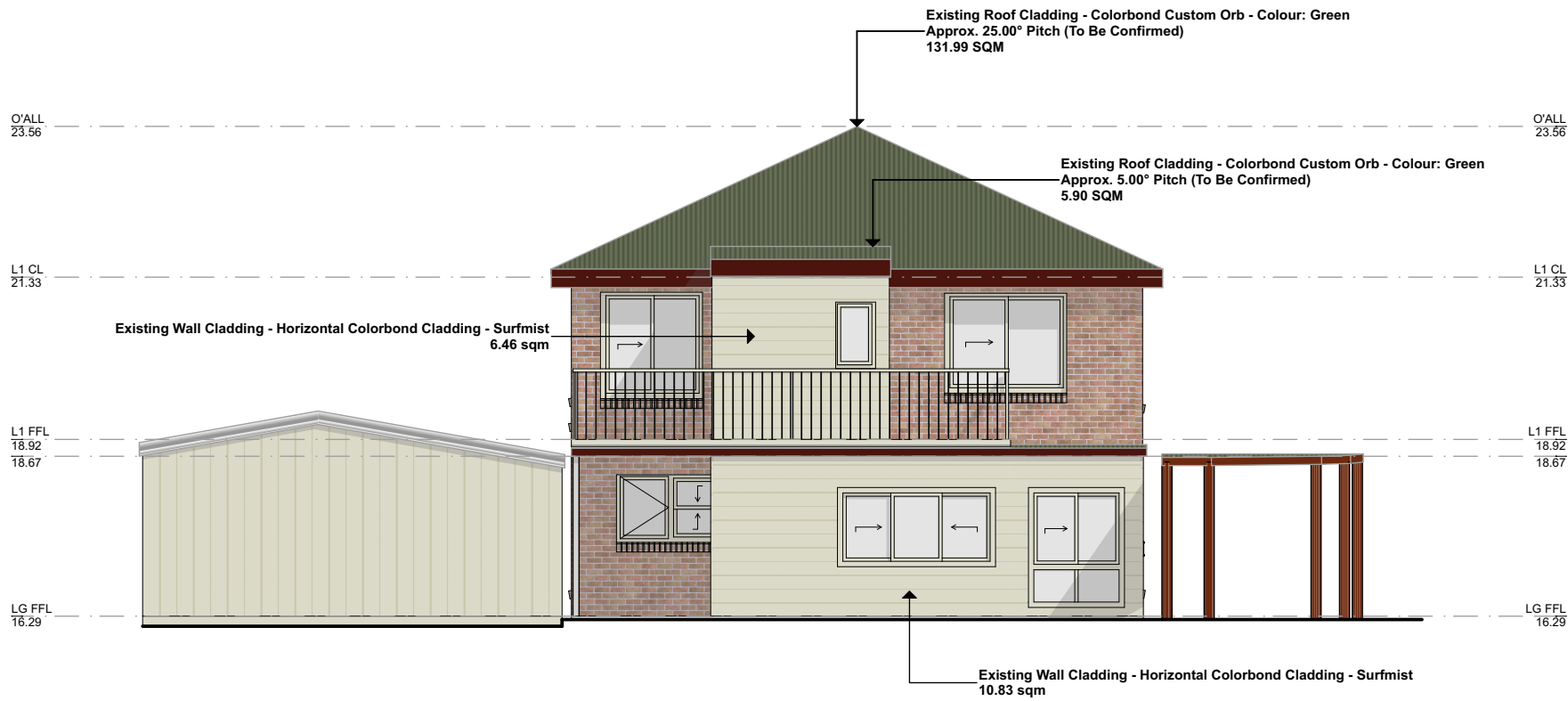
- * LIFT OF HINGES TO WATER CLOSETS LOCATED WITHIN 1.2M OF THE DOORWAY SWING
- * DECALS : MIN. 20mm HIGH DECALS TO FULL HEIGHT GLAZING LOCATED BETWEEN 700MM AND 1200MM HIGH FROM FINISHED FLOOR LEVEL
- * REFER TO APPROVED ENERGY REPORT FOR GLAZING U-VALUES & SHGC
- * REFER TO ELEVATIONS FOR SPECIFICATION OF OBSCURE GLAZING



IMPORTANT:
BUILDER TO VERIFY ALL EXISTING AND PROPOSED DIMENSIONS ON SITE, BOTH PRIOR TO & DURING CONSTRUCTION
OPERABLE WINDOWS & DOORS MAY BE SHOWN IN THEIR OPEN STATE, FOR ILLUSTRATIVE PURPOSES ONLY



NORTH EAST | ELEVATION



SOUTH EAST | ELEVATION

IMPORTANT:
ALL WINDOWS LOCATED 2.0m ABOVE THE SURFACE BENEATH ARE TO BE PROVIDED WITH WINDOW RESTRICTORS TO REFLECT A MAXIMUM OPENING OF 124mm, TO RESIST AN OUTWARD HORIZONTAL ACTION OF 250N IN ACCORDANCE WITH NCC PART 3.9.2.5

WHERE THE RESTRICTING DEVICE OR SCREEN CAN BE REMOVED, UNLOCKED OR OVERRIDDEN, A PERMANENT BARRIER WITH A HEIGHT NOT LESS THAN 865mm ABOVE THE FLOOR IS REQUIRED TO THE OPENABLE WINDOW, IN ADDITION TO WINDOW PROTECTION. THE BARRIER MUST NOT HAVE ANY HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150mm AND 760mm ABOVE THE FLOOR THAT FACILITATE CLIMBING.

GRADE 'A' SAFETY GLAZING IS REQUIRED TO ALL WINDOWS WITHIN 500mm OFF THE FLOOR, WITHIN 300mm OF A DOOR, WITHIN 2000mm OFF THE FLOOR IN ALL WET AREAS AND IS SUSCEPTIBLE TO HUMAN IMPACT.

* LIFT OF HINGES TO WATER CLOSETS LOCATED WITHIN 1.2M OF THE DOORWAY SWING

* DECALS : MIN. 20mm HIGH DECALS TO FULL HEIGHT GLAZING LOCATED BETWEEN 700MM AND 1200MM HIGH FROM FINISHED FLOOR LEVEL

* REFER TO APPROVED ENERGY REPORT FOR GLAZING U-VALUES & SHGC

* REFER TO ELEVATIONS FOR SPECIFICATION OF OBCURE GLAZING

DAVIES

NEW RETROSPECTIVE APPROVAL
146 SLOPING MAIN DRIVE,
SLOPING MAIN, TAS 7186

DATE: 28/8/2025 SIZE: A2 SCALE:1:100

JOB: #ATT1671 DRAWN: N VALENTINE

EMAIL: NIK@THEATTIC.NET.AU

