

## NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval under the Land Use Planning and Approvals Act 1993, for the following development(s):

<b>NUMBER:</b>	DA 49 / 2025
<b>ADDRESS:</b>	6769 Arthur Hwy, Port Arthur (CT: 33169/1)
<b>DESCRIPTION:</b>	Residential – Construction of Addition/Alterations to Dwelling and Outbuilding Visitor Accommodation – Change of use to a Holiday unit

All plans and documents submitted with the application can be inspected at the Tasman Council Office, Monday to Friday from 8:30am to 4:30pm. In addition to the statutory requirements, some documents, relevant to the assessment of the application are available on the council website by following this link:

<https://tasman.tas.gov.au/advertised-applications/>, by using the QR Code below, or they are available in hard copy upon request by calling Council on (03) 6250 9200 or email [tasman@tasman.tas.gov.au](mailto:tasman@tasman.tas.gov.au) during the period for which representations may be made, until **02 October 2025**

Any person may make a representation relating to the application. Representations are to be made in writing addressed to the General Manager, Tasman Council, 1713 Main Road, Nubeena TAS 7184 or by email to [tasman@tasman.tas.gov.au](mailto:tasman@tasman.tas.gov.au) and will be received no later than **02 October 2025**. Late representations will not be considered.



A handwritten signature in black ink, appearing to read 'Blake Repine'.

**Blake Repine**  
**General Manager**  
**Date: 19 September 2025**

DA 49 / 2025 –6769 Arthur Hwy, Port Arthur (33169/1)– The relevant plans and documents can be inspected at the Council Offices at 1713 Main Road, Nubeena during normal office hours, or the plans may be viewed on Council’s website at [www.tasman.tas.gov.au](http://www.tasman.tas.gov.au) until the date representations close 02 October 2025.

The below image was sourced from The List: <https://maps.thelist.tas.gov.au/listmap/app/list/map>



## Application for Planning Permit

The personal information requested on this form is being collected by council for purpose set out in the title of the form. The personal information will be used solely by council for the primary purpose or directly related purposes. The applicant understands that personal information is provided for the above mentioned function and that he/she may apply to council for access to and/or amendment of the information. If an application is made under Section 57 of the Land Use Planning and Approvals Act 1993, a copy of the lodgement documents must be made available for any person to inspect during public notification.

Please note that any information, reports and plans submitted with an application are treated as public documents and may be reproduced for representors, referral authorities and any other persons/bodies interested in the proposal.

Requests for access or correction should be made to Tasman Council's Customer Service Officer.

### APPLICANT DETAILS\*

FULL NAME	Pooley's Drafting Services (Christopher Pooley)		
POSTAL ADDRESS		POSTCODE	
PHONE (BUSINESS HOURS)		MOBILE:	
EMAIL			

NOTE: All Council correspondence will be emailed to the applicant unless otherwise specified.

### OWNERS DETAILS (IF DIFFERENT TO APPLICANT DETAILS)\*

ENSURE OWNER DETAILS MATCH THE CURRENT CERTIFICATE OF TITLE

FULL NAME			
POSTAL ADDRESS		POSTCODE	
PHONE (BUSINESS HOURS)		MOBILE	

### DESCRIPTION OF PROPOSED DEVELOPMENT\*

<input type="checkbox"/> New Dwelling	<input checked="" type="checkbox"/> Extension/ Addition	
<input type="checkbox"/> New Shed/ Outbuilding	<input type="checkbox"/> Demolition	
<input type="checkbox"/> Subdivision	<input checked="" type="checkbox"/> Visitor Accommodation	
<input checked="" type="checkbox"/> Change of Use	<input type="checkbox"/> Other (please specify – right)	
<input type="checkbox"/> Commercial/ Industrial Building		

Are any of the components in this application seeking retrospective approval?

E.g. Use and/or development that has commenced without a planning permit.

(If yes, please specify the relevant components)

☐ Yes

☒ No

### PRESENT USE OF LAND/ BUILDING(S)


Residential

**LOCATION OF PROPOSED DEVELOPMENT\***


ADDRESS	6967 Arthur Hwy, Port Arthur, TAS 7182		
CERTIFICATE OF TITLE	33169	LOT NUMBER	1
FLOOR AREA			
Existing floor area (square metres): 141.26		Proposed floor area (square metres): 154.66	
CAR PARKING			
Number existing 2		Number proposed 2	

SITE CONTAMINATION*	
Have any potentially contaminating uses been undertaken on this site? (Refer to list provided on page 5)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
TASMANIAN HERITAGE OR ABORIGINAL HERITAGE REGISTER*	
Is this property on the Tasmanian Heritage or Aboriginal Heritage Register?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
VEGETATION REMOVAL*	
Does the proposal require any vegetation removal? If yes, provide details on the site plan.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
VALUE (mandatory field)	
Value of work (inc. GST)	\$ 29,000.00


**DECLARATION BY APPLICANT\***

I/ we declare that the information given is a true and accurate representation of the proposed development; and I/ we am/ are liable for the payment of Council application processing fees, even in the event of the development not proceeding; and I/ we authorise Tasman Council to provide a copy of my documents relating to this application to any person for the purpose of assessment and public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.	
SIGNATURE OF APPLICANT	
NAME OF APPLICANT (PLEASE PRINT)	Christopher David Pooley
DATE	23.06.2025

**DECLARATION IF APPLICANT IS NOT THE OWNER**

I hereby declare that I am the applicant for the development at the address detailed in this application for a planning permit, and that I have notified the owner/s of the land for which I am making this application, in accordance with Section 52(1a) of the <i>Land Use Planning and Approvals Act 1993</i> .	
SIGNATURE OF APPLICANT	
NAME OF APPLICANT (PLEASE PRINT)	Christopher David Pooley
DATE	23.06.2025
NAME/S OF OWNER/S NOTIFIED	
DATE	23.06.2025

## DECLARATION IF LAND IS COUNCIL OR CROWN LAND

If the land that is the subject of this application is owned or administered by either the Crown or Tasman Council, the consent of the Minister of the Crown or the General Manager of the Council, whichever is applicable, must be included here. This consent should be completed and signed by either the Minister, the General Manager of Tasman Council, or their delegate (as specified in Subsections 52(1d-1g) of the <i>Land Use Planning and Approvals Act 1993</i> ).	
<b>DECLARATION</b>	<p>I, <u>Fiona McLeod</u></p> <p>being responsible for the administration of land at</p> <p><u>State Road Reservation</u></p> <p>declare that I have given permission for the making of this application.</p>
<b>SIGNATURE OF MINISTER/ GENERAL MANAGER</b>	 Delegate for the Minister administering the Roads and Jetties Act 1935
<b>DATE</b>	<u>27/08/2025</u>

## NON-RESIDENTIAL DEVELOPMENTS

Note: This section must be completed for all applications for non-residential uses, home occupations and domestic/ residential businesses or other managed/ commercial residential uses (e.g. hostel or motel).

<b>HOURS OF BUSINESS</b>			
CURRENT		PROPOSED	
Monday to Friday		Monday to Friday	
Saturday		Saturday	
Sunday		Sunday	
<b>NUMBER OF EMPLOYEES</b>			
CURRENT		PROPOSED	
Total Employees		Total Employees	
Employees on Site		Employees on Site	
<b>PLANT/ MACHINERY</b>			
Is there any large plant or machinery that would need to be installed or used on site such as refrigeration units and generators? (If yes, please list below the type of machinery and ensure location, dimensions etc are clearly marked on your plans.)			<input type="checkbox"/> Yes <input type="checkbox"/> No
<b>OUTDOOR STORAGE/ SEATING/ NUMBER OF BEDS</b>			
Is outdoor storage proposed? (If yes, please ensure that your plans show where the outdoor storage areas are and what type of goods are stored. This information will help us assess the impact of the proposal on the amenity.			<input type="checkbox"/> Yes <input type="checkbox"/> No
If you are proposing a night club, café or the like, what is the number of seats proposed including the capacity at any bar area?		Please ensure that the arrangements are shown on your plans. This information enables us to assess the car parking arrangements.	
If you are proposing a hotel, motel, visitor accommodation, hostel or the like, what is the number of beds proposed?		Please ensure the beds are clearly indicated on your plans. This information enables us to assess the car parking arrangements.	
<b>GOODS DELIVERIES</b>			
Will there be any goods deliveries to and from the site? (If yes, please estimate the number and type of vehicles and how often they will make trips.)			<input type="checkbox"/> Yes <input type="checkbox"/> No
Type and Size of Vehicle		Number of Vehicles on Site	
Trip Frequency per Month			

## PLANNING PERMIT – APPLICATION CHECKLIST

To ensure that we can process your application as quickly as possible, please read the following checklist carefully to ensure that you have provided the following at the time of lodging the application. If you are unclear on any aspect of your application, please phone **(03) 6250 9200** to discuss or arrange an appointment concerning your proposal. Note that, in accordance with Section 54 of the *Land Use Planning and Approvals Act 1993*, Council may require additional information.

Please complete the below checklist



### **Completed Application Form**

- All sections and filled out correctly and owner details match those listed on the title documents
- Application form includes a detailed cost estimate of the proposal



### **Written Submission**

- Description of the proposed development
- Justification addressing the Performance Criteria (if applicable)



### **Title Documents**

- Current copy of the Certificate of Title (Folio Plan and Text Page)
- Copies of any restrictive covenants, easements, or other relevant documents.



### **Site Plan**

- Drawn to scale
- Shows the location of the proposed development
- Includes existing structures, property boundaries, access points and any natural features (vegetation and waterways)



### **Floor Plan and Elevations**

- Detailed floor plans of the proposed development
- Elevations showing the height and external appearance



### **Stormwater and Servicing Plan**

- Details on how stormwater will be managed on-site
- Information about connections to utilities (water, sewer, electricity)
- Elevations showing the height and external appearance



### **Landscaping Plan (if applicable)**

- Details of existing vegetation to be retained or removed



### **Supporting Reports and Assessments (if applicable)**

- Bushfire Hazard Management Plan and Report
- Traffic Impact Assessment
- Natural Values Assessment
- Onsite Wastewater Assessment

Dated: 23.06.2025

Signed:



Please note that application fees will be invoiced upon initial assessment.  
Planning application assessment fees excluding subdivision assessment:

POTENTIALLY CONTAMINATING ACTIVITIES	
Agricultural Fertiliser Manufacture	Metal Founders
Asbestos Production and Manufacture	Metal Sprayers
Battery Manufacture and Recycling	Metal Treatments and Picklers
Chemical Manufacture or Formation	Mining and Extractive Industries
Defence Establishments and Training Areas	Pest Controllers (being areas where pest control chemicals are stored or vehicles and tanks used in connection with pest control are washed.)
Drum Reconditioning Wastes	Petroleum and Petrochemical Industries
Dry Cleaning Establishments	Pharmaceutical Manufacture or Formation
Electroplating	Printers
Explosives Production and Storage	Railway Yards
Fuel Depots and Storage Areas	Sanitary and Refining
Galvanisers	Scrap Yards
Gas Works	Service Stations
Gun, Pistol and Rifle Clubs	Smelting and Refining
Hazardous Waste Landfills	Tannery or Fellmongery or Hide Curing Works
Industrial Cleaners	Wood Treatment and Preservation Sites
Lime Burners	

## SEARCH OF TORRENS TITLE

VOLUME 33169	FOLIO 1
EDITION 5	DATE OF ISSUE 19-Nov-2021

SEARCH DATE : 23-Jun-2025

SEARCH TIME : 09.53 AM

DESCRIPTION OF LAND

Parish of CARNARVON, Land District of PEMBROKE  
Lot 1 on Diagram 33169  
Derivation : Part of Lot 7570 Gtd. to P.E. Grove  
Prior CT 4415/72

SCHEDULE 1

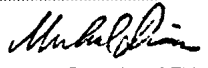
M913283 TRANSFER to  
as tenants in common in equal shares  
Registered 19-Nov-2021 at noon

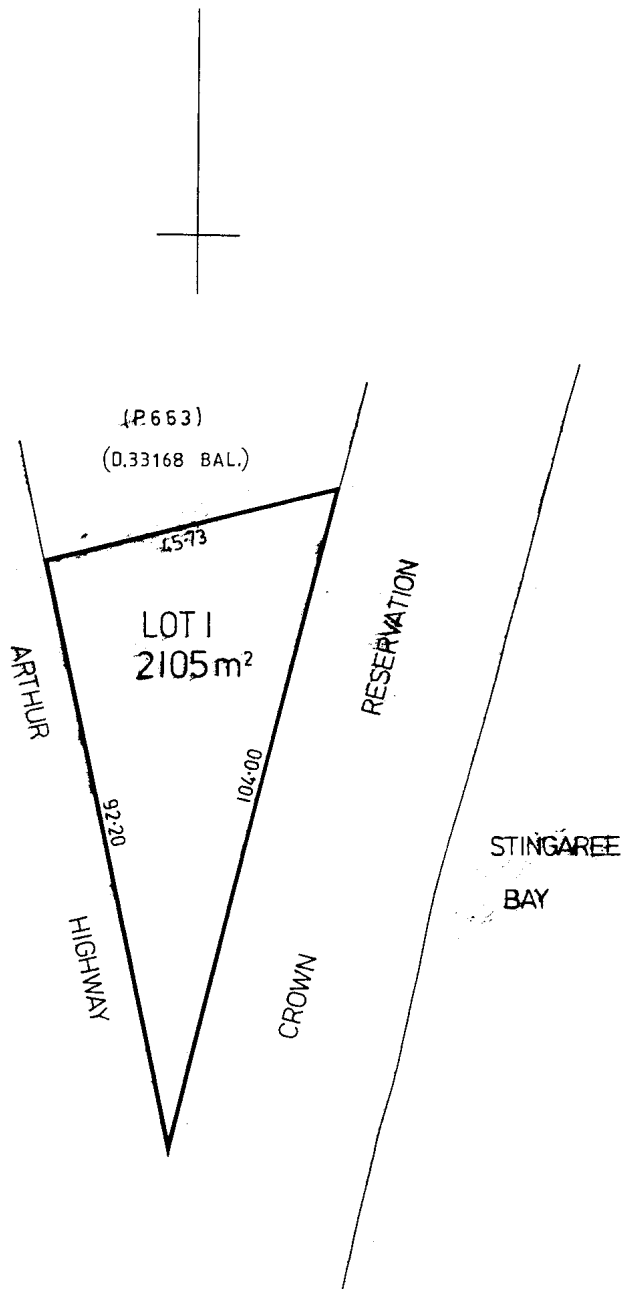
SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
B97753 ADHESION ORDER under Section 477A of the Local  
Government Act 1962 affecting the said land within  
described Registered 04-Sep-1987 at 12.01 PM  
E279438 MORTGAGE to Commonwealth Bank of Australia  
Registered 19-Nov-2021 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

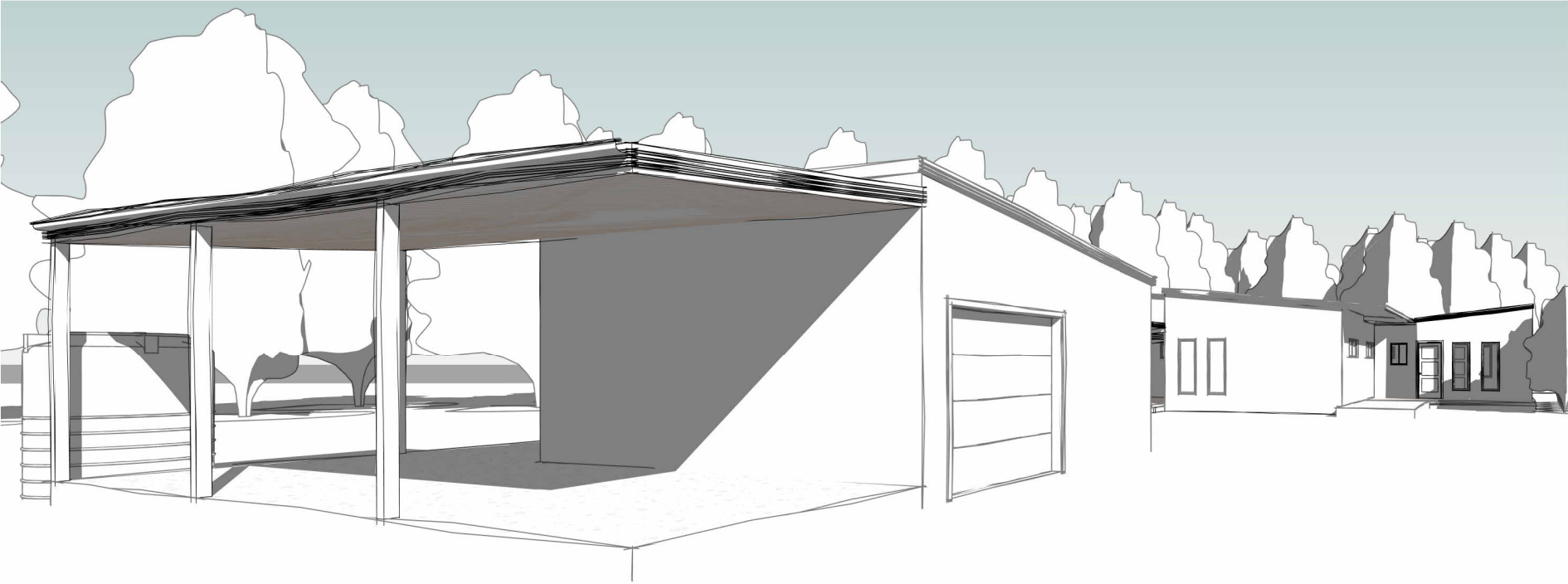
Owner:	<b>PLAN OF TITLE</b> of land situated in the <b>PEMBROKE CARNARVON</b> COMPILED FROM 301-3D, D.30690 SCALE 1:800 MEASUREMENTS IN METRES	Registered Number: <b>D.33169</b>
Title Reference: C.T. 2804-2 & C.T. 3085-60		Approved: <b>13 OCT 1987</b>
Grantee:		 Recorder of Titles



116.

# PROPOSED ALTERATIONS/ ADDITIONS AND CHANGE OF USE TO HOLIDAY UNIT

SHEET	SHEET NAME	REV	DATE	DESCRIPTION
A000	COVER SHEET	B	15.07.25	UPDATED AS PER COUNCIL"S RFI
A100	EXISTING SITE PLAN	B	15.07.25	UPDATED AS PER COUNCIL"S RFI
A110	PROPOSED SITE PLAN	B	15.07.25	UPDATED AS PER COUNCIL"S RFI
A200	EXISTING FLOOR PLAN	A	20.06.25	DA PLANS
A210	PROPOSED FLOOR PLAN	A	20.06.25	DA PLANS
A220	PROPOSED SHED PLAN	A	20.06.25	DA PLANS
A230	PROPOSED ROOF PLAN	A	20.06.25	DA PLANS
A240	PROPOSED SHED ROOF	A	20.06.25	DA PLANS
A300	PROPOSED ELEVATION 1	A	20.06.25	DA PLANS
A310	PROPOSED ELEVATION 2	A	20.06.25	DA PLANS
A400	PROPOSED SECTION	A	20.06.25	DA PLANS
A500	PERSPECTIVE VIEWS	A	20.06.25	DA PLANS

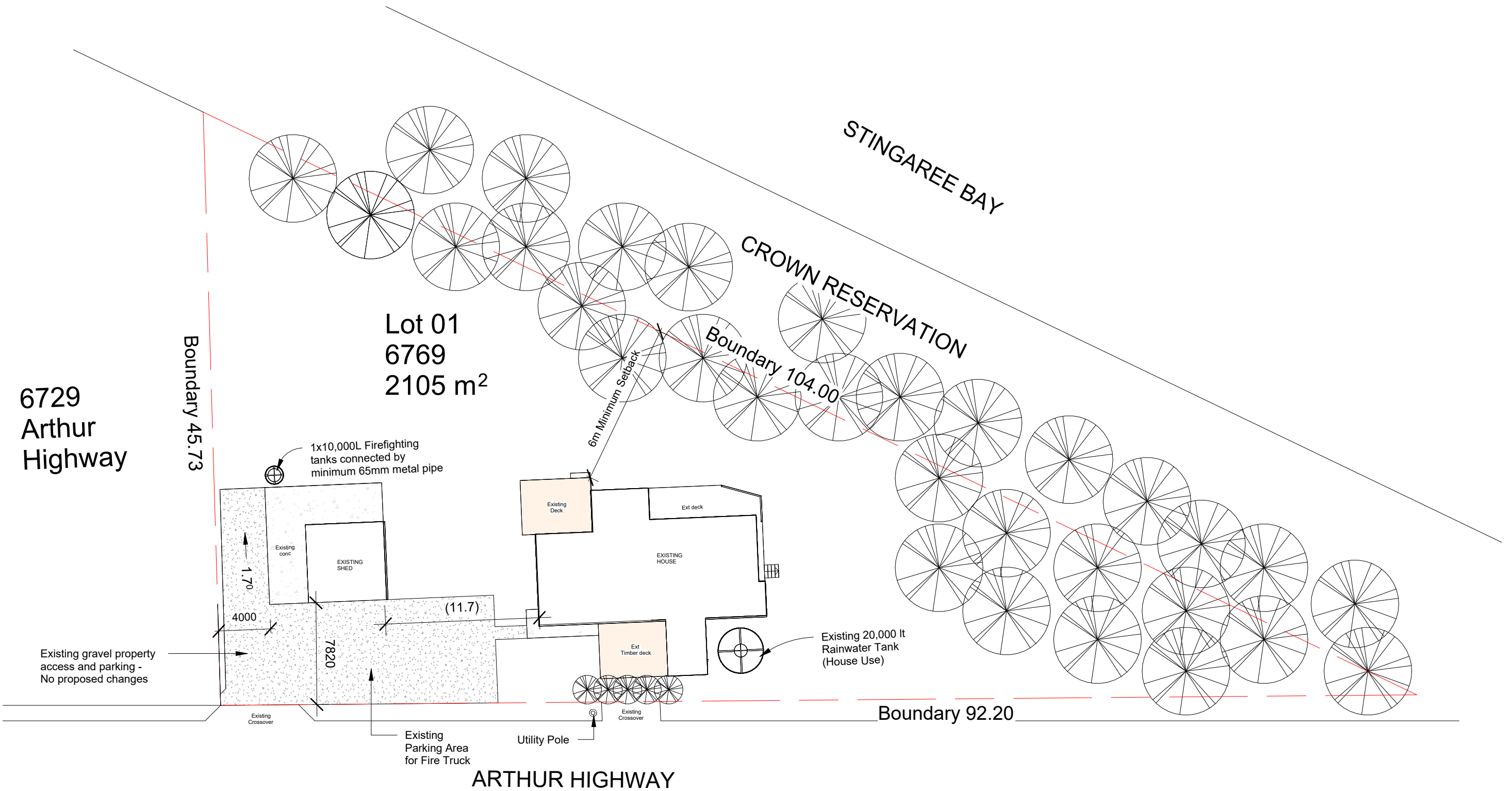


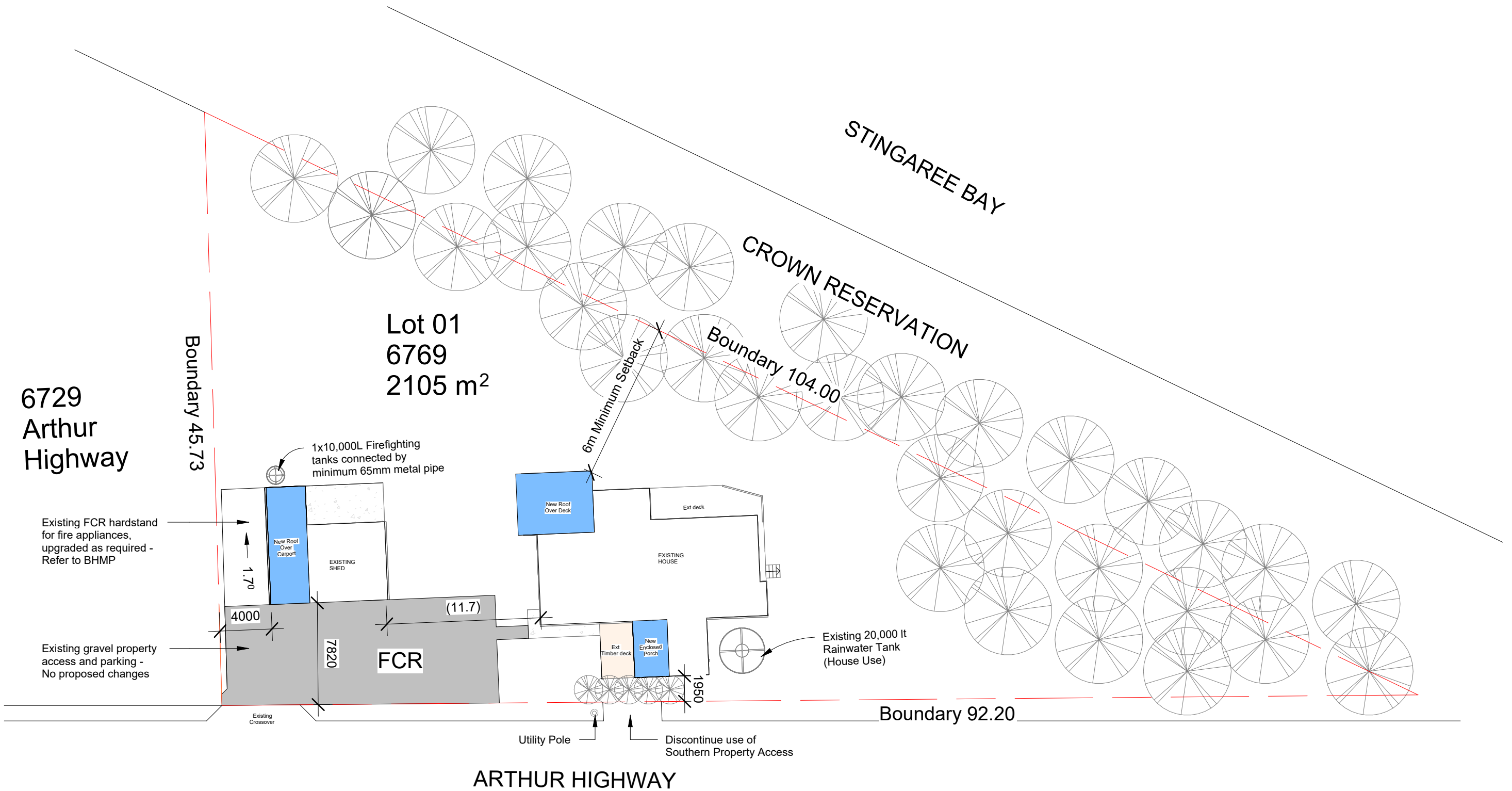
## PROJECT INFORMATION

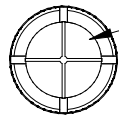
TITLE REFERENCE	33169/1
WIND CLASSIFICATION	TBC
SOIL CLASSIFICATION	TBC
CLIMATE ZONE	TBC
BAL LEVEL	BAL 29
ALPINE AREA	N/A
CORROSION ENVIRONMENT	TBC
OTHER HAZARDS	N/A
SITE SURVEY	TBC
STRUCTURAL PLANS	TBC
SITE CLASSIFICATION REPORT / ASSESSMENT	TBC
BUSHFIRE HAZARD MANAGEMENT PLAN & REPORT	BAL ASSESSMENTS
ENERGY ASSESSMENT	TBC
OTHER SUPPORTING DOCUMENTS	N/A
CLIENT SELECTIONS DOCUMENT	N/A

AREA SCHEDULE			
SITE AREA:			2105m²
<b>DWELLING GROSS FLOOR AREAS</b>			
(ALL FLOOR AREAS EXCLUDE DECKS)			
EXISTING :			141.26m²
PROPOSED :			13.40m²
SHED :			36.00m²
TOTAL			190.65m²
DECK:			22.70m²
CARPORT:			27.00m²
SUB TOTAL			240.35m²

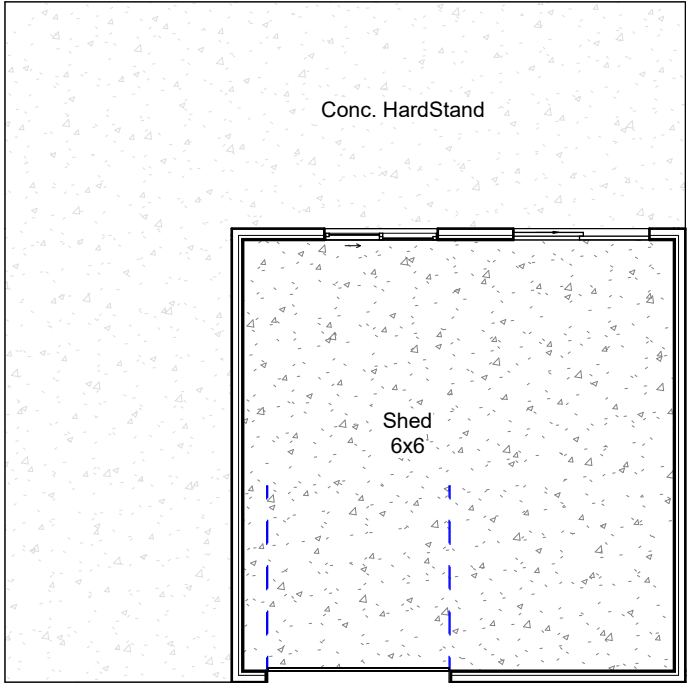
<div>The information, ideas &amp; concepts contained in this document is/are confidential. The recipient (s) of this document is/are prohibited from disclosing such information, ideas and concepts to any person without prior written consent of the building designer.</div>	<div><div><div>PDS</div><div>POOLEYS DRAFTING SERVICES</div></div><div>DWELLING BEING CONSTRUCTED IN A BAL-TBA AREA (RESTRICTIONS TO, OR ADDITIONAL CONSTRUCTION METHODS/ MATERIALS MAY APPLY - REFER NOTES)</div></div>	<div><div>PH: 0417858537 E: chrisspooley0@gmail.com</div><div>BUILDING DESIGNER ACCREDITATION: 866088099</div></div>	COVER SHEET				6769 ARTHUR HWY PORT ARTHUR			
			ALTERATIONS & ADDITIONS							
			DEVELOPMENT APPLICATION							
			JOB NO. 106							
			SHEET NO. A000							
			SCALE @ A3							
			DATE 15.07.25							
			REV NO. B							
						UPDATED AS PER COUNCIL"S RFI		B	15.07.25	YS
						DA PLANS		A	20.06.25	YS
DESCRIPTION						REV NO.	DATE	DRAWN		





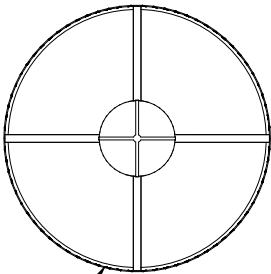
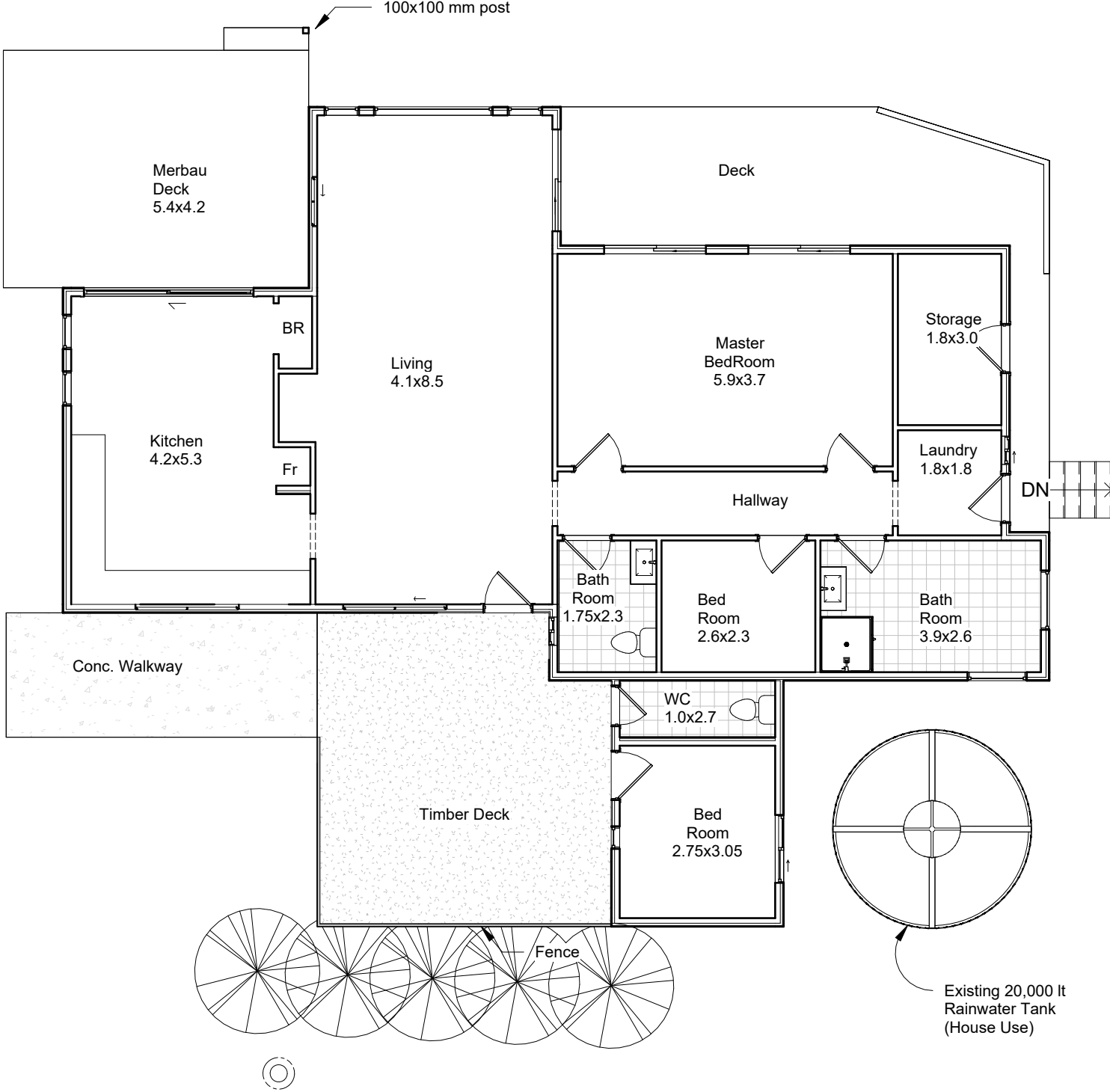


Existing 10,000 It  
Fire Fighting Tank



Ag Drain  
350x350

100x100 mm post



Existing 20,000 It  
Rainwater Tank  
(House Use)

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**PDS**  
POOLEYS DRAFTING SERVICES

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BUILDING DESIGNER  
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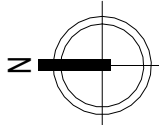
DWELLING BEING CONSTRUCTED IN A BAL-TBA AREA  
(RESTRICTIONS TO, OR ADDITIONAL CONSTRUCTION  
METHODS/ MATERIALS MAY APPLY - REFER NOTES)

EXISTING FLOOR PLAN  
ALTERATIONS & ADDITIONS  
DEVELOPMENT APPLICATION

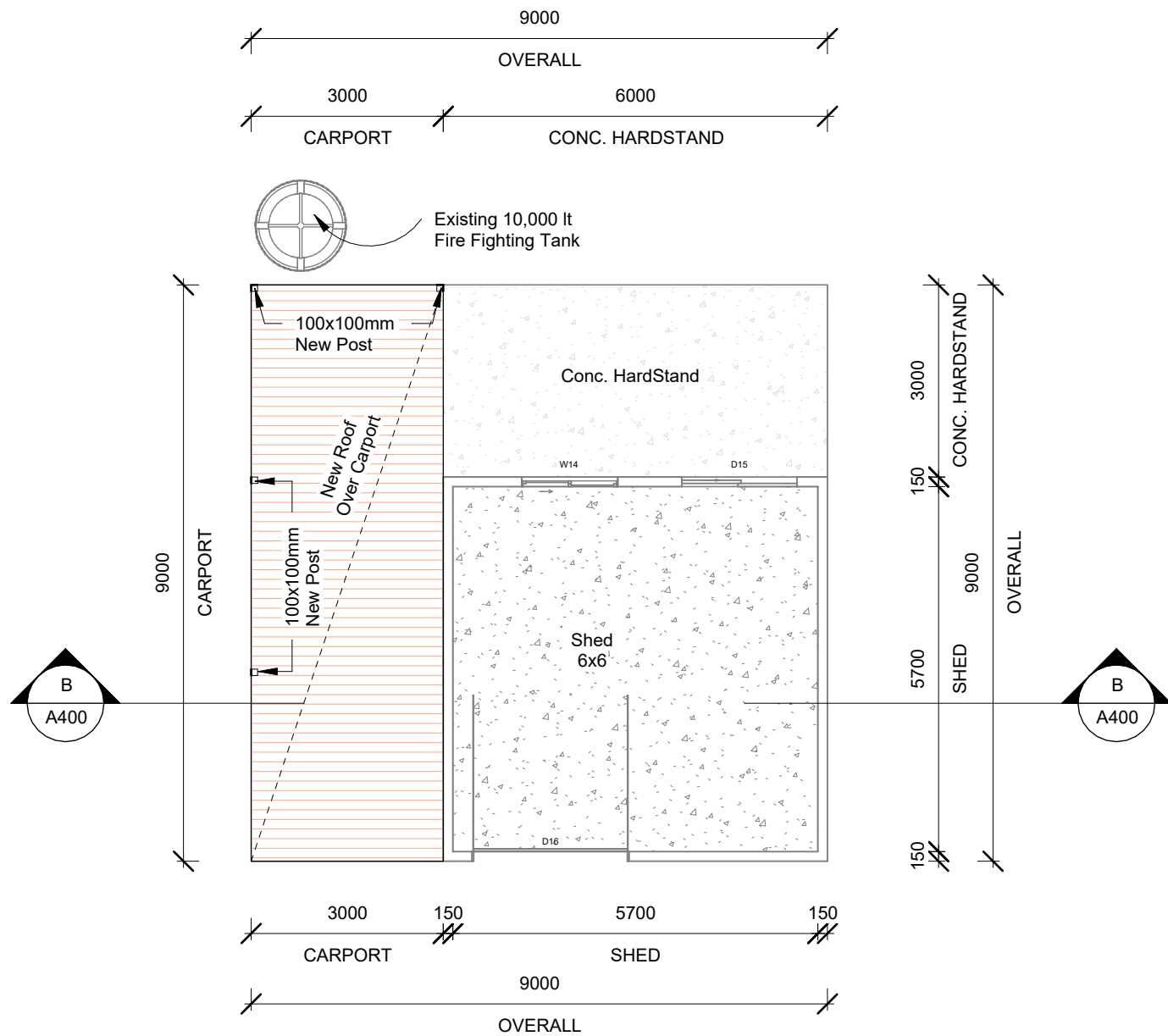
6769 ARTHUR HWY PORT ARTHUR

JOB NO. 106  
SHEET NO. A200  
SCALE @ A3 1 : 100  
DATE 20.06.25  
REV NO. A

DA PLANS	A	20.06.25	YS
DESCRIPTION	REV NO.	DATE	DRAWN







**LEGEND**

110 BRICK VENEER

110 BRICK VENEER - RENDER FINISH

110 BRICK DOUBLE BRICK

110 BRICK DOUBLE BRICK - RENDER FINISH

EXTERNAL WALL WITH SELECT LWC

90 TIMBER STUD

#

LIFT OFF HINGES TO DOOR

⊗

MECHANICAL EXHAUST FAN - SWITCHED WITH LIGHT

⊗

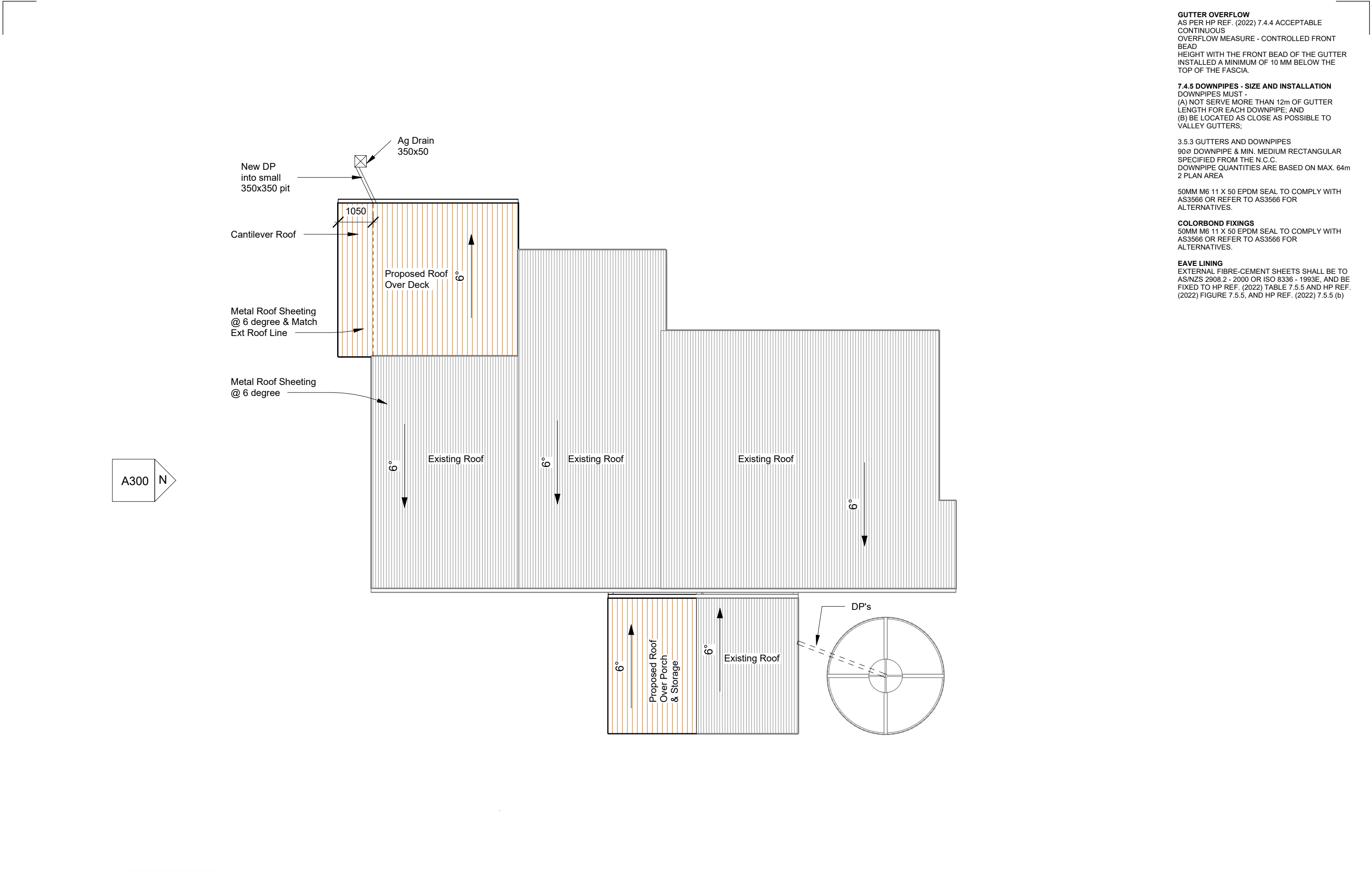
SMOKE ALARM TO BE CONNECTED TO THE MAINS POWER SUPPLY AND POSSESS A BATTERY BACK-UP AND BE INTERCONNECTED; TO PROVIDE A COMMON ALARM THROUGHOUT THE BUILDING, AND BE TO AS 3786-2014, AND BE INSTALLED TO HP REF. (2022) 9.5.4

⊗

VERTICAL ARTICULATION JOINT LOCATIONS SHOWN ARE A GUIDE ONLY. LOCATIONS MAY BE ALTERED ON SITE AS DETERMINED BY BRICK LAYER - TO COMPLY WITH HP REF. (2022) 5.6.8

**NOTE**  
KITCHEN APPLIANCES/DESIGN/SIZES/LOCATION ARE INDICATIVE ONLY (OBJECTS SHOWN AS PLACEHOLDERS ONLY). REFER TO SELECTION DOCUMENTATION AND JOINERS PLANS FOR DETAILS.

AREA SCHEDULE			
SITE AREA:			2105m <sup>2</sup>
DWELLING GROSS FLOOR AREAS			
(ALL FLOOR AREAS EXCLUDE DECKS)			
EXISTING :			141.26m <sup>2</sup>
PROPOSED :			13.40m <sup>2</sup>
SHED :			36.00m <sup>2</sup>
TOTAL			190.65m <sup>2</sup>
DECK:			22.70m <sup>2</sup>
CARPORT:			27.00m <sup>2</sup>
SUB TOTAL			240.35m <sup>2</sup>



**GUTTER OVERFLOW**  
AS PER HP REF. (2022) 7.4.4 ACCEPTABLE  
CONTINUOUS  
OVERFLOW MEASURE - CONTROLLED FRONT  
BEAD  
HEIGHT WITH THE FRONT BEAD OF THE GUTTER  
INSTALLED A MINIMUM OF 10 MM BELOW THE  
TOP OF THE FASCIA.

**7.4.5 DOWNPIPES - SIZE AND INSTALLATION**  
DOWNPIPES MUST -  
(A) NOT SERVE MORE THAN 12m OF GUTTER  
LENGTH FOR EACH DOWNPIPE; AND  
(B) BE LOCATED AS CLOSE AS POSSIBLE TO  
VALLEY GUTTERS;

**3.5.3 GUTTERS AND DOWNPIPES**  
90Ø DOWNPIPE & MIN. MEDIUM RECTANGULAR  
SPECIFIED FROM THE N.C.C.  
DOWNPIPE QUANTITIES ARE BASED ON MAX. 64m  
2 PLAN AREA

50MM M6 11 X 50 EPDM SEAL TO COMPLY WITH  
AS3566 OR REFER TO AS3566 FOR  
ALTERNATIVES.

**COLORBOND FIXINGS**  
50MM M6 11 X 50 EPDM SEAL TO COMPLY WITH  
AS3566 OR REFER TO AS3566 FOR  
ALTERNATIVES.

**EAVE LINING**  
EXTERNAL FIBRE-CEMENT SHEETS SHALL BE TO  
AS/NZS 2908.2 - 2000 OR ISO 8336 - 1993E, AND BE  
FIXED TO HP REF. (2022) TABLE 7.5.5 AND HP REF.  
(2022) FIGURE 7.5.5, AND HP REF. (2022) 7.5.5 (b)

**GUTTER OVERFLOW**  
AS PER HP REF. (2022) 7.4.4 ACCEPTABLE  
CONTINUOUS  
OVERFLOW MEASURE - CONTROLLED FRONT  
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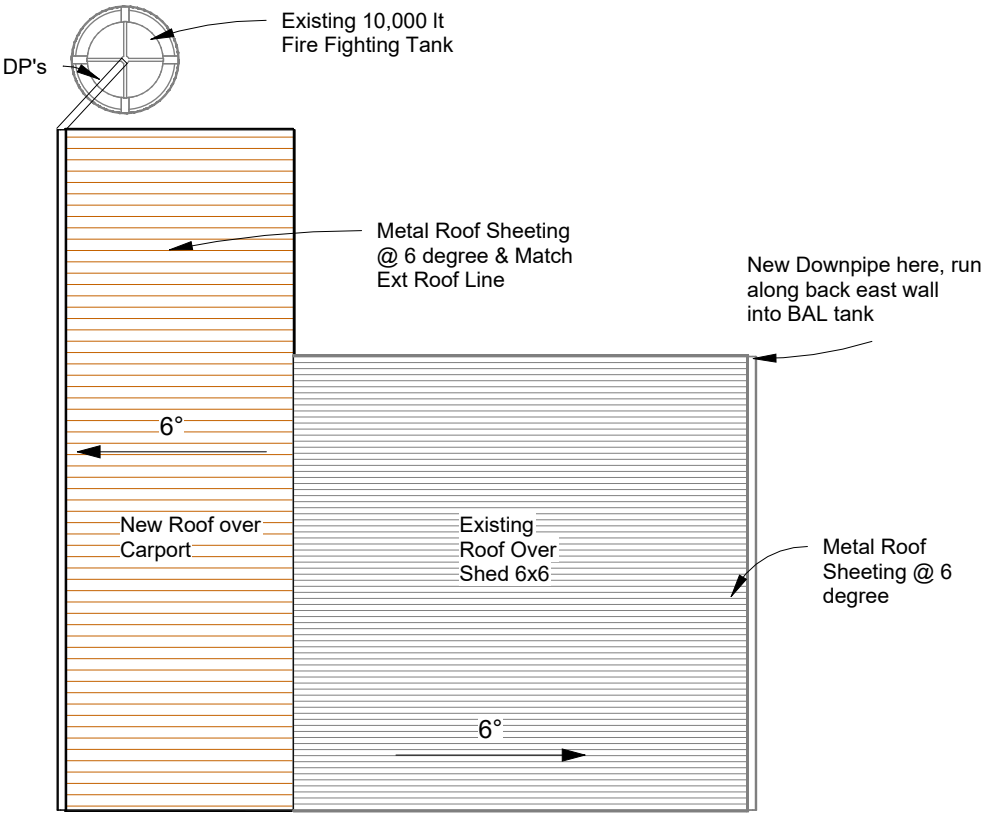
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(2022) FIGURE 7.5.5, AND HP REF. (2022) 7.5.5 (b)



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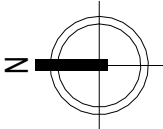
DWELLING BEING CONSTRUCTED IN A BAL-TBA AREA  
(RESTRICTIONS TO, OR ADDITIONAL CONSTRUCTION  
METHODS/ MATERIALS MAY APPLY - REFER NOTES)

PROPOSED SHED ROOF  
ALTERATIONS & ADDITIONS  
DEVELOPMENT APPLICATION

6769 ARTHUR HWY PORT ARTHUR

JOB NO. 106  
SHEET NO. A240  
SCALE @ A3 1 : 100  
DATE 20.06.25  
REV NO. A

DA PLANS	A	20.06.25	YS
DESCRIPTION	REV NO.	DATE	DRAWN





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E: chrisspooley0@gmail.com  
BUILDING DESIGNER  
ACCREDITATION: 866088099

DWELLING BEING CONSTRUCTED IN A BAL-TBA AREA  
(RESTRICTIONS TO, OR ADDITIONAL CONSTRUCTION  
METHODS/ MATERIALS MAY APPLY - REFER NOTES)

PROPOSED ELEVATION 1  
ALTERATIONS & ADDITIONS  
DEVELOPMENT APPLICATION

6769 ARTHUR HWY PORT ARTHUR

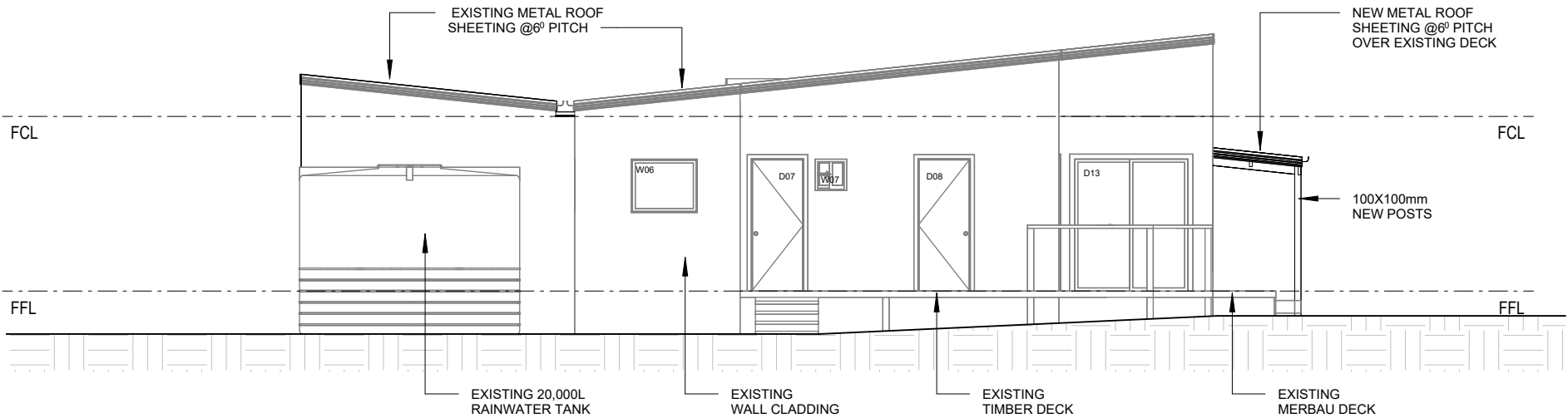
JOB NO. 106  
SHEET NO. A300  
SCALE @ A3 1 : 100  
DATE 20.06.25  
REV NO. A

DA PLANS	A	20.06.25	YS
DESCRIPTION	REV NO.	DATE	DRAWN

CLADDING / COLOUR SELECTION	
ELEMENT	COLOUR / TYPE
ROOF	TBC
BRICK	TBC
CLADDING (A)	TBC
CLADDING (B)	TBC

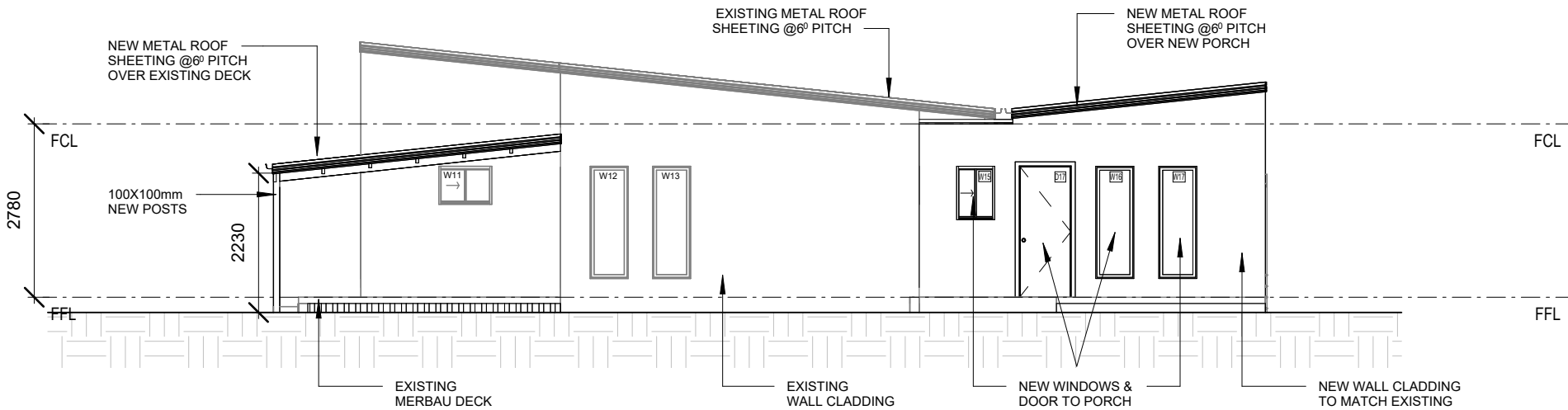
- THE COLOURS SHOWN ON THIS PLAN MAY NOT REFLECT THE COLOUR OF THE FINAL PRODUCT. IF COLOUR HAS BEEN LISTED AS TBC THIS MEANS THE COLOURS IS INDICATIVE ONLY AND IS SUBJECT TO FINAL SELECTION

**NOTE:**  
- SHADOWS SHOWN ARE FOR VISUALISATION PURPOSES ONLY  
- WINDOW/DOOR STYLE ARE INDICATIVE ONLY, REFER TO SELECTION DOCUMENTATION  
**AJ** - VERTICAL ARTICULATION JOINT LOCATIONS SHOWN ARE A GUIDE ONLY. LOCATIONS MAY BE ALTERED ON SITE AS DETERMINED BY BRICK LAYER - TO COMPLY WITH HP REF. (2022) 5.6.8



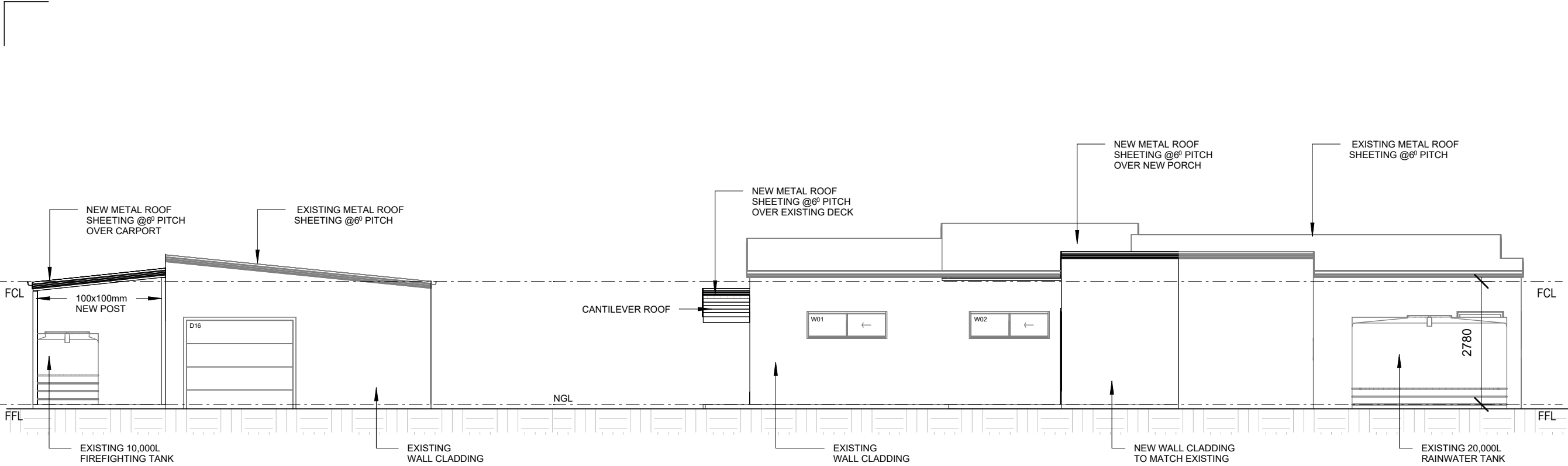
SOUTH ELEVATION

1 : 100



NORTH ELEVATION

1 : 100

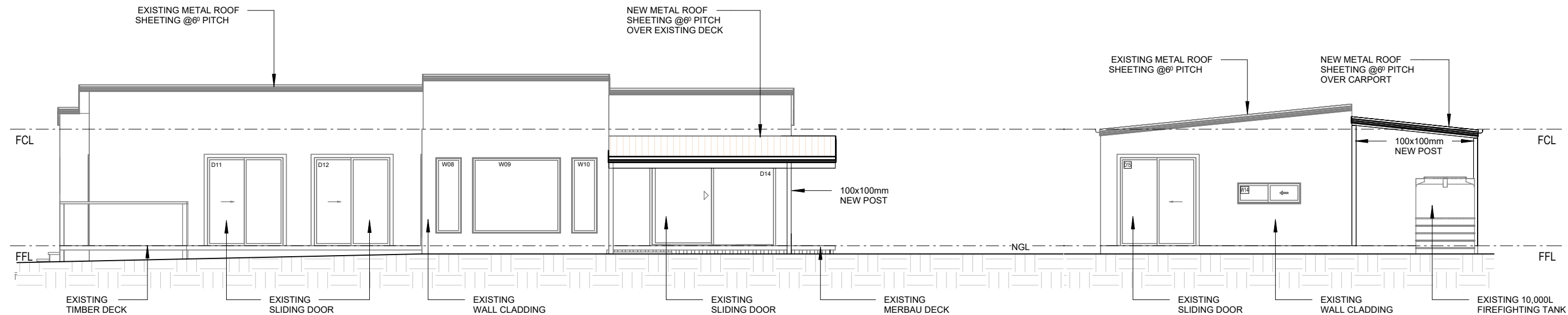


CLADDING / COLOUR SELECTION	
ELEMENT	COLOUR / TYPE
ROOF	TBC
BRICK	TBC
CLADDING (A)	TBC
CLADDING (B)	TBC

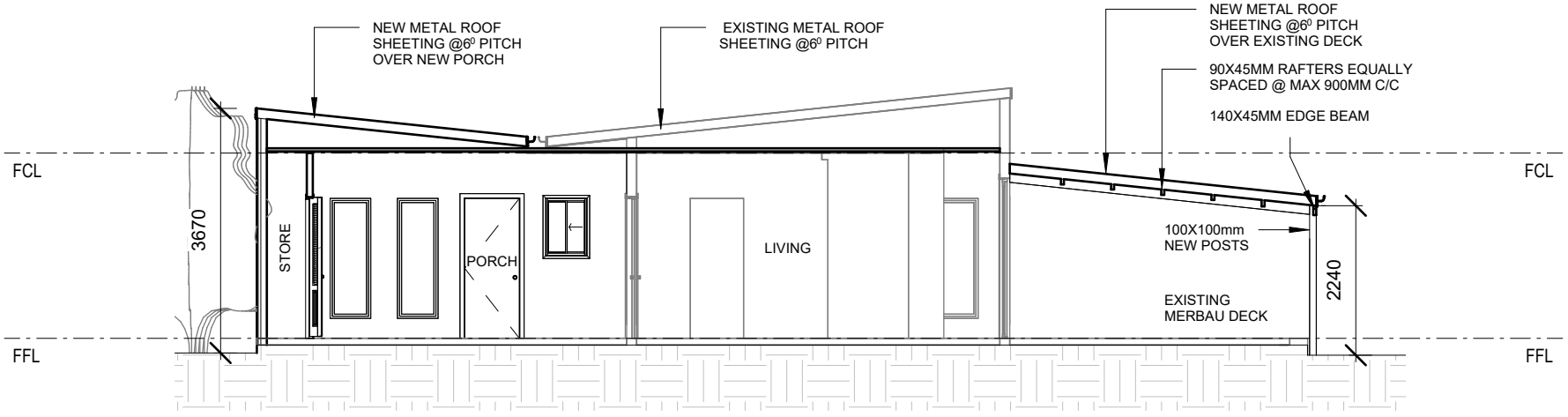
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**W** WEST ELEVATION  
1 : 100



**E** EAST ELEVATION  
1 : 100



**A** SECTION A-A  
1 : 100

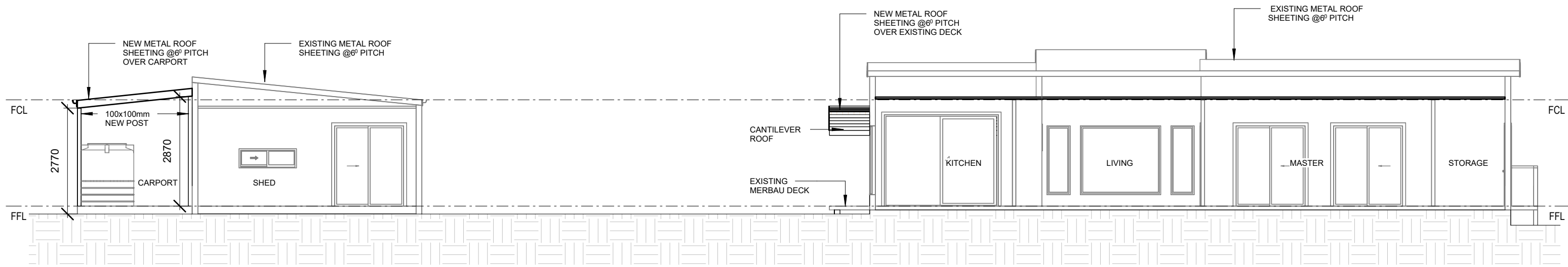
**BATTEN FIXINGS:**  
100MM TYPE 17, 14G BUNGLE SCREWS. ALL BATTENS MUST COMPLY WITH AS1684, OR REFER TO AS1684 FOR ALTERNATIVES

**COLORBOND FIXINGS:**  
50MM M6 11 X 50 EPDM SEAL MUST COMPLY WITH AS3566 REFER TO AS3566 FOR ALTERNATIVES

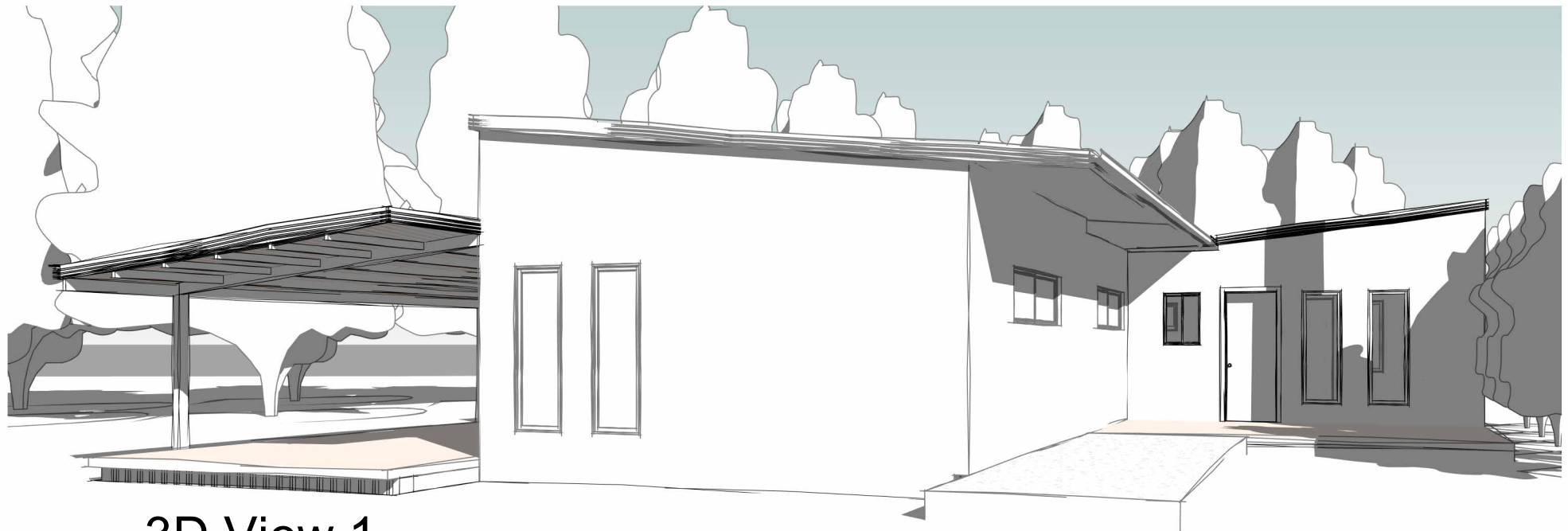
**LIGHTWEIGHT CLADDINGS FIXINGS:**  
REFER TO MANUFACTURER'S SPECIFICATIONS FOR FIXINGS, FLASHINGS AND OTHER INSTALLTION DETAILS

**WALL TIES:**  
MASONRY VENEER WALLS TO HAVE MEDIUM DUTY WALL TIES @ 600ø MAX. WALL TIES REFER TO AS4773.1 SECTION 7.3 AND FIGURE 7.1 AND BE INSTALLED TO HP REF. (2022) 5.6.5

**BULK INSTALLATON SHALL:**  
BE TO AS/NZS 4859.1 - 2018, AND BE INSTALLED TO HP REF. (2022) 13.2.2



**B** SECTION B-B  
1 : 100



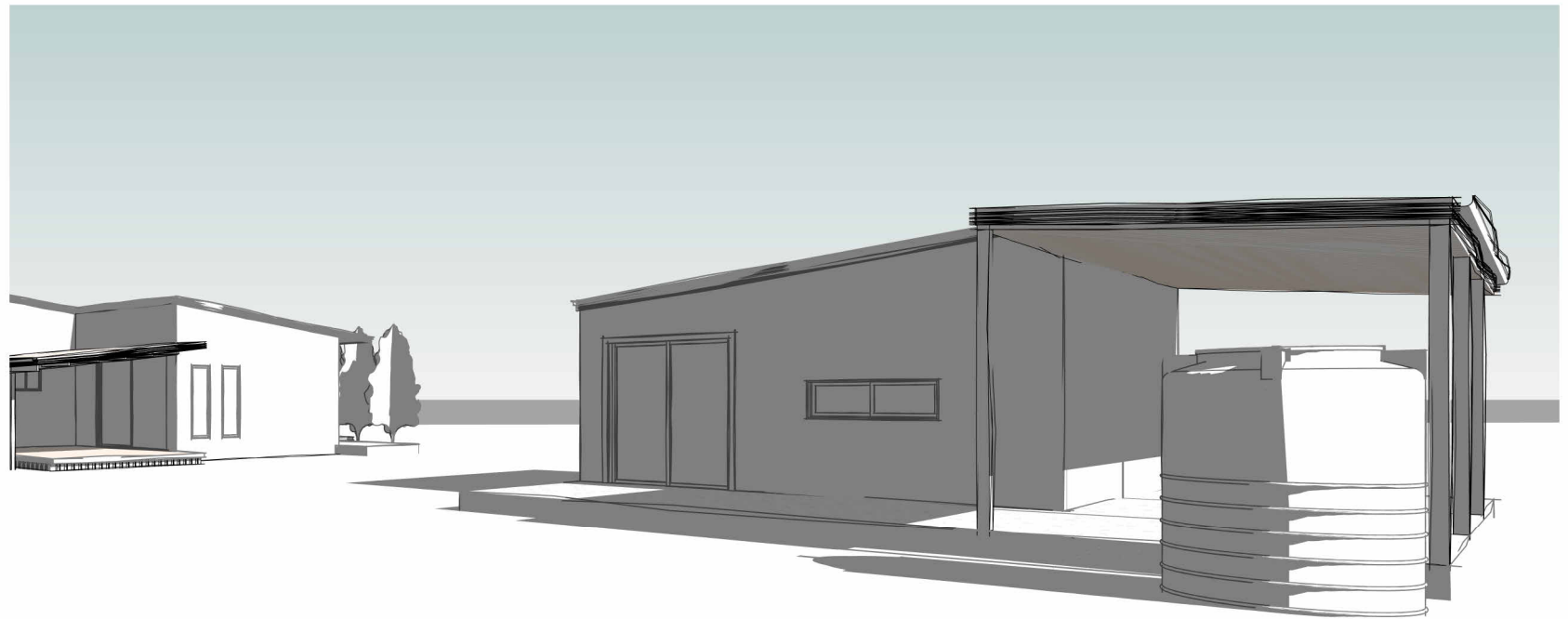
1

3D View 1



2

3D View 2



3

3D View 3

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**PDS**  
POOLEYS DRAFTING SERVICES

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E: chrisspooley0@gmail.com

BUILDING DESIGNER  
ACCREDITATION: 866088099

DWELLING BEING CONSTRUCTED IN A BAL-TBA AREA  
(RESTRICTIONS TO, OR ADDITIONAL CONSTRUCTION  
METHODS/ MATERIALS MAY APPLY - REFER NOTES)

PERSPECTIVE VIEWS  
ALTERATIONS & ADDITIONS  
DEVELOPMENT APPLICATION

6769 ARTHUR HWY PORT ARTHUR

JOB NO. 106  
SHEET NO. A500  
SCALE @ A3  
DATE 20.06.25  
REV NO. A

DA PLANS	A	20.06.25	YS
DESCRIPTION	REV NO.	DATE	DRAWN