

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval under the Land Use Planning and Approvals Act 1993, for the following development(s):

NUMBER:	DA 114 / 2025
ADDRESS:	370 Pirates Bay Dr, Eaglehawk Neck (CT: 5501/4)
DESCRIPTION:	Residential – Demolition of a Dwelling and Construction of a Single Dwelling

All plans and documents submitted with the application can be inspected at the Tasman Council Office, Monday to Friday from 8:30am to 4:30pm. In addition to the statutory requirements, some documents, relevant to the assessment of the application are available on the council website by following this link:

<https://tasman.tas.gov.au/advertised-applications/>, by using the QR Code below, or they are available in hard copy upon request by calling Council on (03) 6250 9200 or email tasman@tasman.tas.gov.au during the period for which representations may be made, until **12 March 2026**.

Any person may make a representation relating to the application. Representations are to be made in writing addressed to the General Manager, Tasman Council, 1713 Main Road, Nubeena TAS 7184 or by email to tasman@tasman.tas.gov.au and will be received no later than **12 March 2026**. Late representations will not be considered.



Blake Repine
General Manager
Date: 26 February 2026

DA 114 / 2025, 370 Pirates Bay Dr, Eaglehawk Neck (CT 5501/4) – The relevant plans and documents can be inspected at the Council Offices at 1713 Main Road, Nubeena during normal office hours, or the plans may be viewed on Council’s website at www.tasman.tas.gov.au until the date representations close 12 March 2026.

The below imagine was sourced from The List: <https://maps.thelist.tas.gov.au/listmap/app/list/map>



Application for Planning Permit

The personal information requested on this form is being collected by council for purpose set out in the title of the form. The personal information will be used solely by council for the primary purpose or directly related purposes. The applicant understands that personal information is provided for the above mentioned function and that he/she may apply to council for access to and/or amendment of the information. If an application is made under Section 57 of the Land Use Planning and Approvals Act 1993, a copy of the lodgement documents must be made available for any person to inspect during public notification. Please note that any information, reports and plans submitted with an application are treated as public documents and may be reproduced for representatives, referral authorities and any other persons/bodies interested in the proposal. Requests for access or correction should be made to Tasman Council's Customer Service Officer.

* Indicates mandatory field

APPLICANT DETAILS*

FULL NAME	Woolcott Land Services Pty Ltd		
POSTAL ADDRESS		POSTCODE	
PHONE (BUSINESS HOURS)		MOBILE:	
EMAIL			

NOTE: All Council correspondence will be emailed to the applicant unless otherwise specified.

OWNERS DETAILS (IF DIFFERENT TO APPLICANT DETAILS)*

ENSURE OWNER DETAILS MATCH THE CURRENT CERTIFICATE OF TITLE

FULL NAME			
POSTAL ADDRESS		POSTCODE	
PHONE (BUSINESS HOURS)		MOBILE	

DESCRIPTION OF PROPOSED DEVELOPMENT*

<input checked="" type="checkbox"/> New Dwelling	<input type="checkbox"/> Extension/ Addition	
<input type="checkbox"/> New Shed/ Outbuilding	<input checked="" type="checkbox"/> Demolition	_____
<input type="checkbox"/> Subdivision/ Boundary Adjustment	<input type="checkbox"/> Visitor Accommodation	_____
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Other (please specify – right)	
<input type="checkbox"/> Commercial/ Industrial Building		

Are any of the components in this application seeking retrospective approval?* E.g. Use and/or development that has commenced without a planning permit. (If yes, please specify the relevant components)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

PRESENT USE OF LAND/ BUILDING(S)*
Residential

LOCATION OF PROPOSED DEVELOPMENT*

ADDRESS	370 PIRATES BAY DR EAGLEHAWK NECK TAS 7179		
CERTIFICATE OF TITLE: FOLIO NUMBER	5501/4	LOT NUMBER	

FLOOR AREA*	
Existing floor area (square metres): Refer to report	Proposed floor area (square metres):
CAR PARKING*	
Number existing	Number proposed

SITE CONTAMINATION*	
Have any potentially contaminating uses been undertaken on this site? (Refer to list provided on page 5)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
TASMANIAN HERITAGE OR ABORIGINAL HERITAGE REGISTER*	
Is this property on the Tasmanian Heritage or Aboriginal Heritage Register?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
VEGETATION REMOVAL*	
Does the proposal require any vegetation removal? If yes, provide details on the site plan.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
VALUE*	
Value of work (inc. GST)	\$ 723,600.00

Please complete both declarations if you are making the application but not the owner

DECLARATION BY APPLICANT*

I/ we declare that the information given is a true and accurate representation of the proposed development; and I/ we am/ are liable for the payment of Council application processing fees, even in the event of the development not proceeding; and I/ we authorise Tasman Council to provide a copy of my documents relating to this application to any person for the purpose of assessment and public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.	
SIGNATURE OF APPLICANT	
NAME OF APPLICANT (PLEASE PRINT)	Michelle Schleiger
DATE	3 December 2025

DECLARATION IF APPLICANT IS NOT THE OWNER

I hereby declare that I am the applicant for the development at the address detailed in this application for a planning permit, and that I have notified the owner/s of the land for which I am making this application, in accordance with Section 52(1a) of the <i>Land Use Planning and Approvals Act 1993</i> .	
SIGNATURE OF APPLICANT	
NAME OF APPLICANT (PLEASE PRINT)	Michelle Schleiger
DATE	3 December 2025
NAME/S OF OWNER/S NOTIFIED	
DATE	3 December 2025

DECLARATION IF LAND IS COUNCIL OR CROWN LAND

<p>If the land that is the subject of this application is owned or administered by either the Crown or Tasman Council, the consent of the Minister of the Crown or the General Manager of the Council, whichever is applicable, must be included here. This consent should be completed and signed by either the Minister, the General Manager of Tasman Council, or their delegate (as specified in Subsections 52(1d-1g) of the <i>Land Use Planning and Approvals Act 1993</i>).</p>	
DECLARATION	<p>I, _____</p> <p>being responsible for the administration of land at _____</p> <p>_____</p> <p>declare that I have given permission for the making of this application.</p>
SIGNATURE OF MINISTER/ GENERAL MANAGER	
DATE	

NON-RESIDENTIAL DEVELOPMENTS

Note: This section must be completed for all applications for non-residential uses, home occupations and domestic/ residential businesses or other managed/ commercial residential uses (e.g. hostel or motel).

HOURS OF BUSINESS			
CURRENT		PROPOSED	
Monday to Friday		Monday to Friday	
Saturday		Saturday	
Sunday		Sunday	
NUMBER OF EMPLOYEES			
CURRENT		PROPOSED	
Total Employees		Total Employees	
Employees on Site		Employees on Site	
PLANT/ MACHINERY			
<p>Is there any large plant or machinery that would need to be installed or used on site such as refrigeration units and generators? (If yes, please list below the type of machinery and ensure location, dimensions etc are clearly marked on your plans.)</p>			<input type="checkbox"/> Yes <input type="checkbox"/> No
OUTDOOR STORAGE/ SEATING/ NUMBER OF BEDS			
<p>Is outdoor storage proposed? (If yes, please ensure that your plans show where the outdoor storage areas are and what type of goods are stored. This information will help us assess the impact of the proposal on the amenity.)</p>			<input type="checkbox"/> Yes <input type="checkbox"/> No
<p>If you are proposing a night club, café or the like, what is the number of seats proposed including the capacity at any bar area?</p>		<p>Please ensure that the arrangements are shown on your plans. This information enables us to assess the car parking arrangements.</p>	
<p>If you are proposing a hotel, motel, visitor accommodation, hostel or the like, what is the number of beds proposed?</p>		<p>Please ensure the beds are clearly indicated on your plans. This information enables us to assess the car parking arrangements.</p>	
GOODS DELIVERIES			
<p>Will there be any goods deliveries to and from the site? (If yes, please estimate the number and type of vehicles and how often they will make trips.)</p>			<input type="checkbox"/> Yes <input type="checkbox"/> No
Type and Size of Vehicle		Number of Vehicles on Site	
Trip Frequency per Month			

PLANNING PERMIT – APPLICATION CHECKLIST – MANDATORY

To ensure that we can process your application as quickly as possible, please read the following checklist carefully to ensure that you have provided the following at the time of lodging the application.

If you are unclear on any aspect of your application, please phone **(03) 6250 9200** to discuss or arrange an appointment concerning your proposal. Note that, in accordance with Section 54 of the *Land Use Planning and Approvals Act 1993*, Council may require additional information.

Please note that the following information is required by Clause 6.1 of the State Planning Provisions. An application will not be considered to be a valid application and will not be processed without the required information as detailed below.

Please complete the below checklist



Completed Application Form - Required

All sections filled out correctly and owner details match those listed on the title documents
Application form includes a detailed cost estimate of the proposal



Written Submission - Required

Description of the proposed development
Justification addressing the Performance Criteria (if applicable)



Title Documents - Required

Current copy of the Certificate of Title (Folio Plan and Text Page)
Copies of any restrictive covenants, easements, or other relevant documents.



Site Plan - Required

Drawn to scale
Shows the location of the proposed development including setback distances from boundaries
Includes existing structures, property boundaries, access points, driveways, parking areas, rainwater tanks and any natural features (vegetation and waterways)



Floor Plan and Elevations - Required

Detailed floor plans of the proposed development
Elevations showing the height and external appearance



Stormwater and Servicing Plan - Required

Details on how stormwater will be managed on-site
Information about connections to utilities (water, sewer, electricity)
Elevations showing the height and external appearance of all water tanks



Landscaping Plan - if applicable

Details of existing vegetation to be retained or removed



Supporting Reports and Assessments - if applicable

Bushfire Hazard Management Plan and Report
Traffic Impact Assessment
Natural Values Assessment
Onsite Wastewater Assessment

Dated: **3 December 2025**

Signed:



Please note the following:

Application fees will be invoiced upon initial assessment, this is within 4 business days of submission.
If this application results in building works occurring on the property, applicant and/or owner information including name and contact details will be provided to the Office of the Valuer General for the purpose of undertaking a valuation inspection of the property / building works.

POTENTIALLY CONTAMINATING ACTIVITIES	
Agricultural Fertiliser Manufacture	Metal Founders
Asbestos Production and Manufacture	Metal Sprayers
Battery Manufacture and Recycling	Metal Treatments and Picklers
Chemical Manufacture or Formation	Mining and Extractive Industries
Defence Establishments and Training Areas	Pest Controllers (being areas where pest control chemicals are stored or vehicles and tanks used in connection with pest control are washed.)
Drum Reconditioning Wastes	Petroleum and Petrochemical Industries
Dry Cleaning Establishments	Pharmaceutical Manufacture or Formation
Electroplating	Printers
Explosives Production and Storage	Railway Yards
Fuel Depots and Storage Areas	Sanitary and Refining
Galvanisers	Scrap Yards
Gas Works	Service Stations
Gun, Pistol and Rifle Clubs	Smelting and Refining
Hazardous Waste Landfills	Tannery or Fellmongery or Hide Curing Works
Industrial Cleaners	Wood Treatment and Preservation Sites
Lime Burners	

SEARCH OF TORRENS TITLE

VOLUME 5501	FOLIO 4
EDITION 3	DATE OF ISSUE 09-Sep-2019

SEARCH DATE : 04-Nov-2025

SEARCH TIME : 09.17 AM

DESCRIPTION OF LAND

Parish of LORAINAH, Land District of PEMBROKE
 Lot 4 on Sealed Plan [5501](#)
 Derivation : Part of Lot 10995 Gtd. to J.E. Risby.
 Prior CT [3406/73](#)

SCHEDULE 1

[M778897](#) TRANSFER to Registered
 09-Sep-2019 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP [5501](#) FENCING PROVISION in Schedule of Easements
 SP [5501](#) COUNCIL NOTIFICATION under Section 468(12) of the
 Local Government Act 1962

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

7



SCHEDULE OF EASEMENTS

PLAN NO.

S.P.5501

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

No easements profits a prendre or covenants are created to benefit or burden any Lots shown on the Plan.

FENCING PROVISION: ELSIE LEAH NUROO the Vendor shall not be required to fence.

SIGNED by ELSIE LEAH NUROO the registered proprietor of the land in Certificate of Title Volume 2260 Folio 52 in the presence of 2660 52. Includes signature of John Clifford Biddle, Law Clerk, Hobart.

Handwritten signature of E. Leah Nuroo.

EXECUTED by AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED the registered proprietor of Mortgage No. 800405 by being SIGNED SEALED AND DELIVERED at

AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED

By Its Attorney

by its Attorney JOHN CLIFFORD BIDDLE in the presence of (and the said Attorney certifies that he has received no notice of revocation of the said Power)

Signature of Regional Manager for Australia and New Zealand Banking Group Limited.

86 COLLINS STREET, HOBART BANK OFFICER

Certified correct for the purposes of the Real Property Act 1862, as amended.

SIMMONS WOLFHAGEN SIMMONS & WALCH

per:

[Signature]
Subdivider/Solicitor for the Subdivider

This is the schedule of easements attached to the plan of Lots 1, 2, 3 and 4

..... comprising part of the land in

Certificate of Title Volume 2660 Folio 52.

(Insert Title Reference)

Sealed by

Municipality of Soerenga

on 15 November 1973

50740

[Signature]
Council Clerk/Town Clerk

APPROVAL BY LOCAL AUTHORITY

The subdivision shown in this Plan is approved

Insert here any qualification to the approval under section 468 (12), section 472 or section 477B of the Local Government Act 1962. Rule through any blank space.

The Corporation :-
 (a) Cannot provide a supply of water for the lots on the plan
 (b) Cannot provide a means of sewerage for the lots on the plan

Seal

In witness whereof the common seal of the Warden, Councillors & Electors of the Municipality of Sorell has been hereunto affixed, pursuant to a resolution of the Council of the said municipality passed the day of 15th November 1973, in the presence of us

[Signature] Members
[Signature] Council Clerk

29 MAY 1974
23 MAY 1974

1	3406	70
2	"	71
3	"	72
4	"	73

TO BE COMPLETED AND SIGNED BY COUNCIL CLERK OR OWNER

For the purposes of section 464 of the Local Government Act 1962, the owner has nominated/I nominate As his/~~my~~ solicitor ... Simmons, Wolfhagen, Simmons & Walch
 As his/~~my~~ surveyor ... G.W. Gripps

[Signature] Council Clerk/Owner

TO BE FILLED IN BY SURVEYOR

Survey commenced 20-12-73
 Survey finished
 Error of Close See calcs
OFFICE EXAMINATION
 Plot Checked 29/5/74
 Mathematically Checked 29/5/74
 Examined as to boundaries RDE 7/6/74
 Entered on Card SF 22/5/74

Surveyor's Certificate

I, Geoffrey William Gripps of 295 Elizabeth Street Hobart in Tasmania, registered surveyor, hereby certify that this plan:
 1. Has been made from surveys executed by me or a registered pupil under my personal supervision, inspection, and field-check, and that both plan and survey are correct, and have been made in accordance with the Land Surveyors By-Laws 1966;
 2. Complies with all statutory provisions relating to anything appearing thereon; and
 3. Requires the approval of the local authority, which has been obtained (or, does not require the approval of any local authority)
 Dated this 3rd day of April 1974
[Signature]
 Registered Surveyor

05 379

(4496)

4496

Lands' Titles Office,
Hobart, 19

MEMO.

PLEASE to note the following Memoranda of the Chief Draftsman,
and forward reply at your earliest convenience.

Per: Recorder of Titles.

Ch. R. H.

MEMO.

On Mr G. W. Griggs' Survey of four Lots (S.P. 5501)
Pembroke Lorainah, for E. L. Nurco, Lots 2 and 4 will not close
there appears to be a common error.
The bearing and distant of a tie has been omitted from the survey
notes - see print herewith.

Ch. R. Hagan.
Chief Draftsman.

The Recorder of Titles.

SURVEYOR'S REPLY.

Corrections are as shown on the print here with

W. J. Roberts.

Surveyor under Real Property Act.

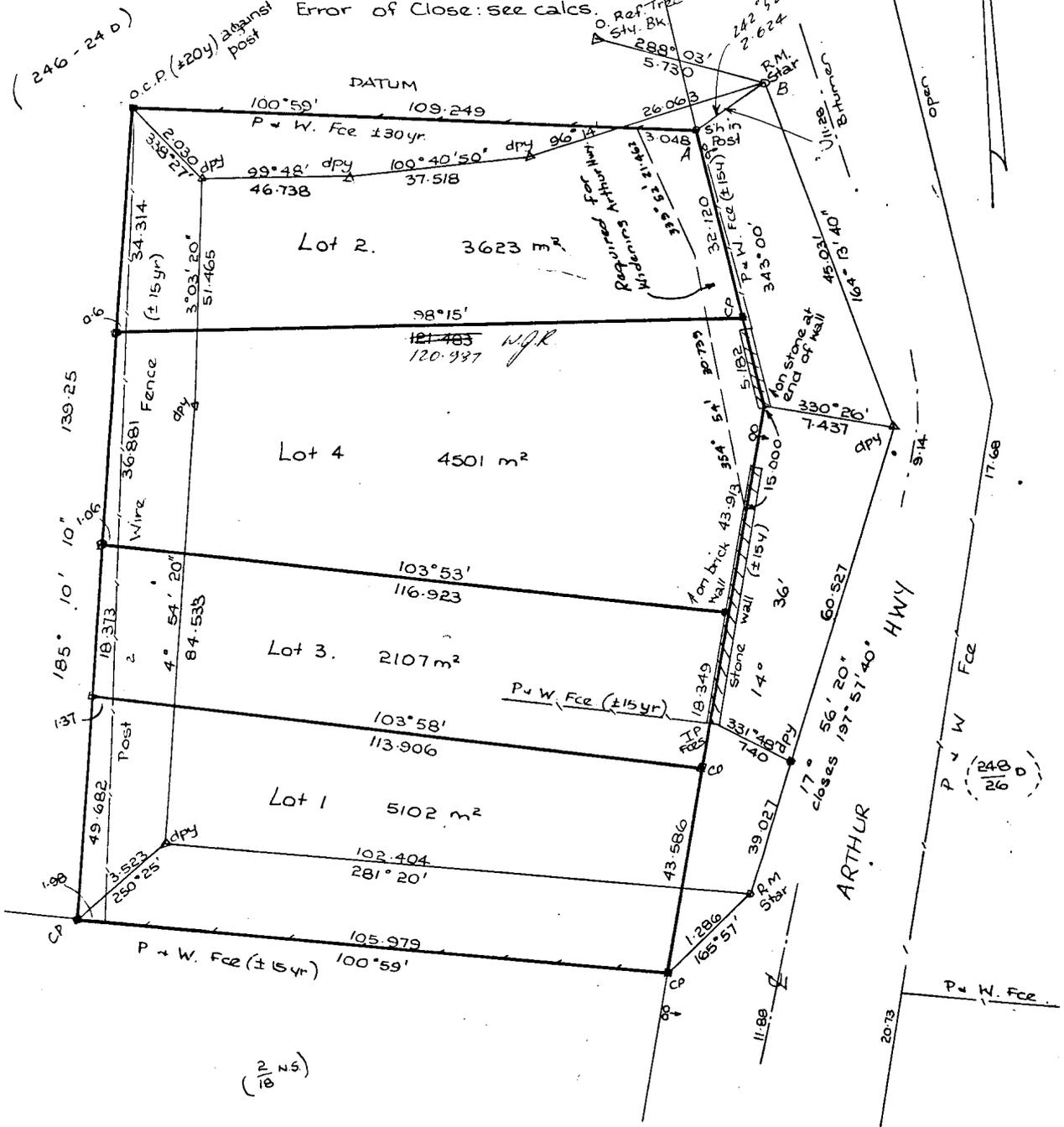
The Recorder of Titles

6655

S.P. 5501

LAND DISTRICT OF PEMBROKE
PARISH OF LORAINAH

Part of Lot 10995 J.E. Risby Pur. being
C.T. 2660-52 - E.L. Nuroo Owner
Survey Commenced: 20-1-'73
Survey Finished: 21-11-'73
Error of Close: see calcs.

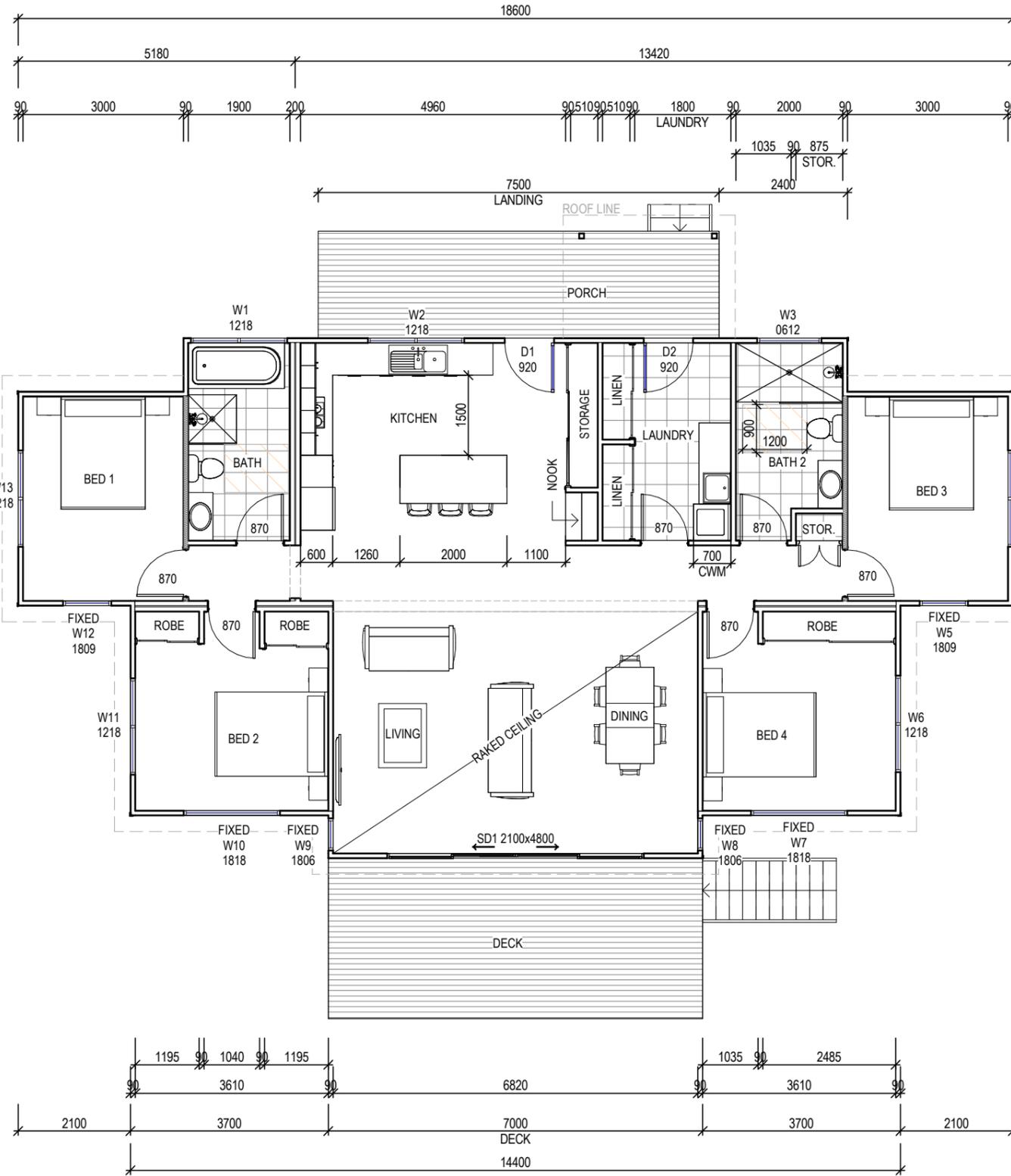
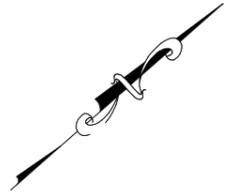


Queries

These survey notes are correctly compiled from the field notes of this survey.

1. Bearing & distance omitted from line A-B.
2. Common misclose in Lots 2 & Lots 4.

W.J. Roberts
Student



CONSTRUCTION PLAN
 SCALE 1 : 100

WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	U-VALUE	SHGC
W1	1200	1800	DG	4.3	.55
W2	1200	1800	DG	4.3	.55
W3	600	1200	DG	4.3	.55
W4	1200	1800	DG	4.3	.55
W5	1800	900	DG	4.3	.55
W6	1200	1800	DG	4.3	.55
W7	1800	1800	DG	4.3	.55
W8	1800	600	DG	4.3	.55
W9	1800	600	DG	4.3	.55
W10	1800	1800	DG	4.3	.55
W11	1200	1800	DG	4.3	.55
W12	1800	900	DG	4.3	.55
W13	1200	1800	DG	4.3	.55
*W14	850	4200	DG	4.3	.55
D1	2100	920	DG	4.0	.61
D2	2100	920	DG	4.0	.61
SD1	2100	4200	DG	4.0	.61

*REFER ELEVATIONS FOR HIGHLIGHT WINDOW

DISCLAIMER:
 ALL WINDOWS SHOWN ON PLAN ARE APPROX. BASED OFF STANDARD MANUFACTURING SIZES. ALL WINDOW DIMENSIONS TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO ORDERING AND MANUFACTURING.

Area Schedule (Gross Building)		
Name	Area	Area (sq)
DWELLING	148.77 m ²	16.01
DECK	21.00 m ²	2.26
PORCH	7.04 m ²	0.76
	176.81 m²	19.03

ISSUED FOR APPROVAL
 Copyright ©

Client:
 Project: **PROPOSED DWELLING**
 Address: **370 PIRATES BAY DR**
EAGLEHAWK NECK TAS

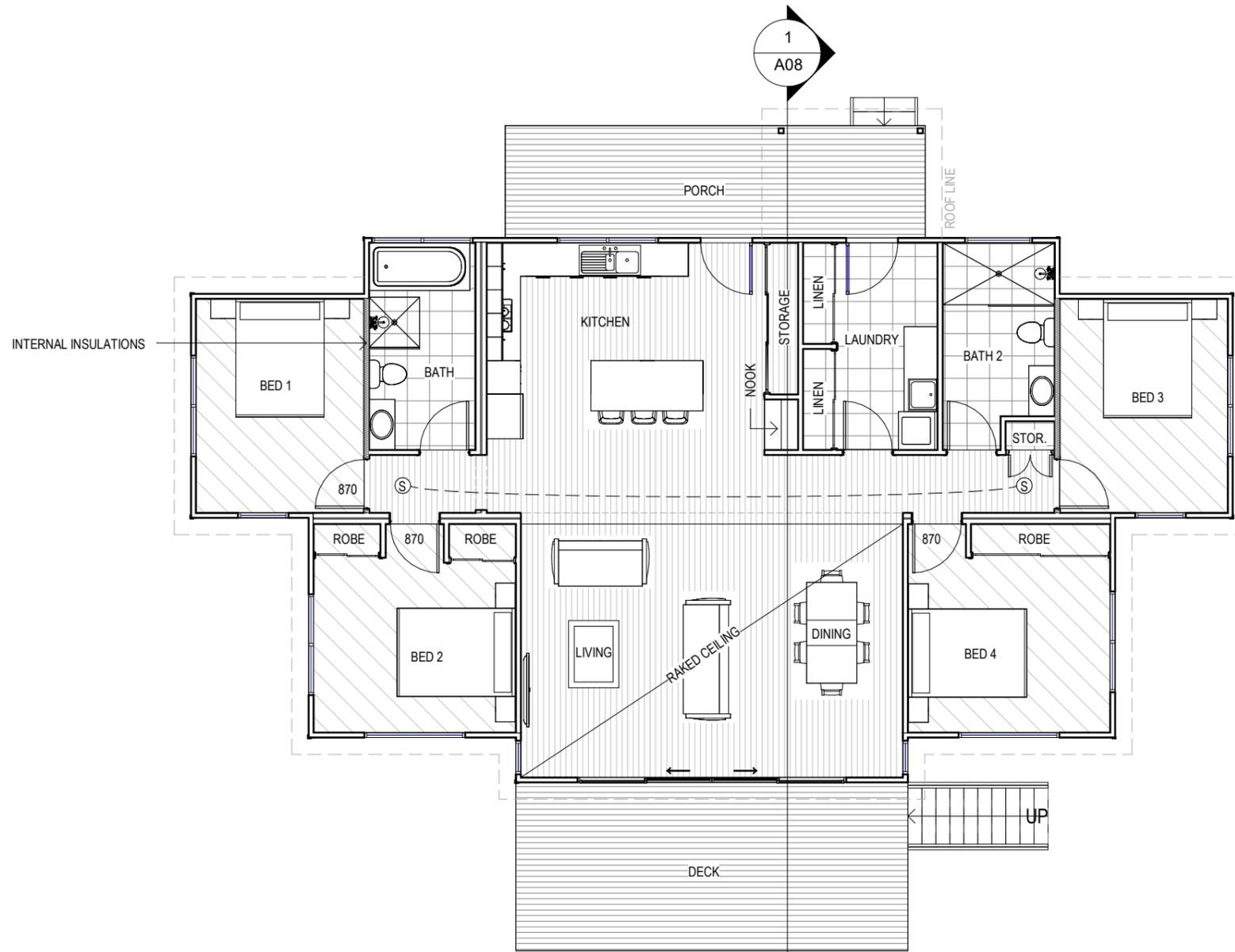
Mob 0417 362 783 or 0417 545 813
 jack@engineeringplus.com.au
 trin@engineeringplus.com.au

Accredited Building Designer
 Designer Name: **J. Pfeiffer**
 Accreditation No: **CC2211T**

Drawing No: **2025-318**
 A03 / A09
 Rev **G**

Design Responsibility Disclaimer
 NOTE: The drawings, documentation, and design information provided herein have been prepared by Engineering Plus based solely on information supplied by Tasbuilt Homes. Engineering Plus has not participated in any face-to-face consultation with the client or end user. As such, Engineering Plus accepts no responsibility or liability for any errors, omissions, or discrepancies arising from client selections, design interpretations, or other information not directly verified by Engineering Plus. It is the sole responsibility of Tasbuilt Homes to review, verify, and confirm the accuracy, suitability, and completeness of all design elements prior to construction. Drawings delivered by Tasbuilt Homes to the end user, will be confirmation that the drawings accurately reflect the intended design and client requirements before issue for construction or council submission.

G	STORMWATER AMENDMENT	10.02.26	W.T.	Date Drawn: 10.11.25
F	MINOR AMENDMENT	16.01.26	W.T.	Drawn: W. Tan
E	MINOR AMENDMENT	13.01.26	W.T.	Checked: C. Lim
D	MINOR AMENDMENT	17.12.25	W.T.	Approved: J. Pfeiffer
C	STORMWATER AMENDMENT	03.12.25	W.T.	Scale: As Shown @ A3
B	MINOR AMENDMENT	28.11.25	W.T.	
Rev:	Amendment:	Date:	Int:	



FLOOR PLAN
 SCALE 1:100

FLOOR COVERINGS	
	CARPET
	CONCRETE
	TIMBER DECKING
	TILE
	VINYL TIMBER FLOORING

SMOKE ALARMS
 PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE TO BUILDING POWER SUPPLY TO AS 3786.
 CEILING MOUNTED WITH 9VDC ALKALINE BATTERY BACKUP
 TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE WITH NCC PART H3D6 - ACBC PART 9.5

(S) - DENOTES INTERCONNECTED SMOKE DETECTORS

Area Schedule (Gross Building)		
Name	Area	Area (sq)
DWELLING	148.77 m ²	16.01
DECK	21.00 m ²	2.26
PORCH	7.04 m ²	0.76
	176.81 m ²	19.03

ISSUED FOR APPROVAL

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Client:
 Project: **PROPOSED DWELLING**
 Address: **370 PIRATES BAY DR EAGLEHAWK NECK TAS**

Mob 0417 362 783 or 0417 545 813
 jack@engineeringplus.com.au
 trin@engineeringplus.com.au

Date Drawn: 10.11.25
 Drawn: W. Tan
 Checked: C. Lim
 Approved: J. Pfeiffer
 Scale: As Shown @ A3
 Accredited Building Designer
 Designer Name: J. Pfeiffer
 Accreditation No: CC2211T

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Rev:	Amendment:	Date:	Int:

Drawing No: **2025-318 A04 / A09** Rev **G**

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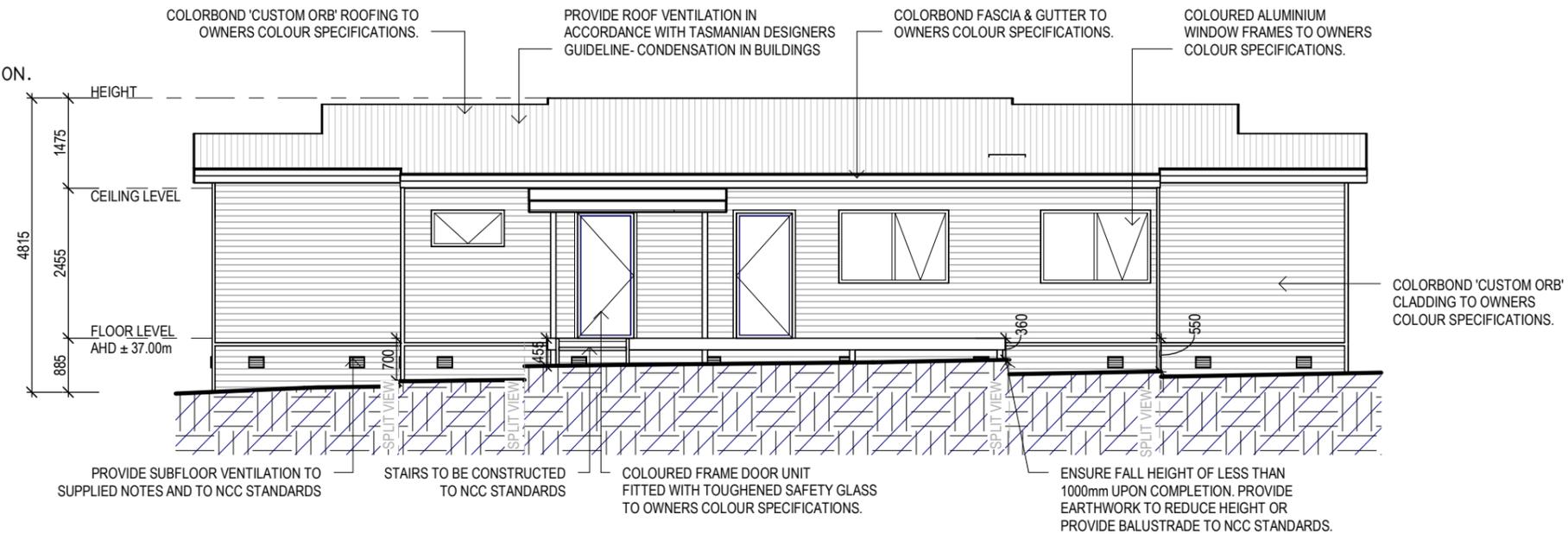
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SUB FLOOR VENTILATION. NCC VOL 2 PART 6.2.1

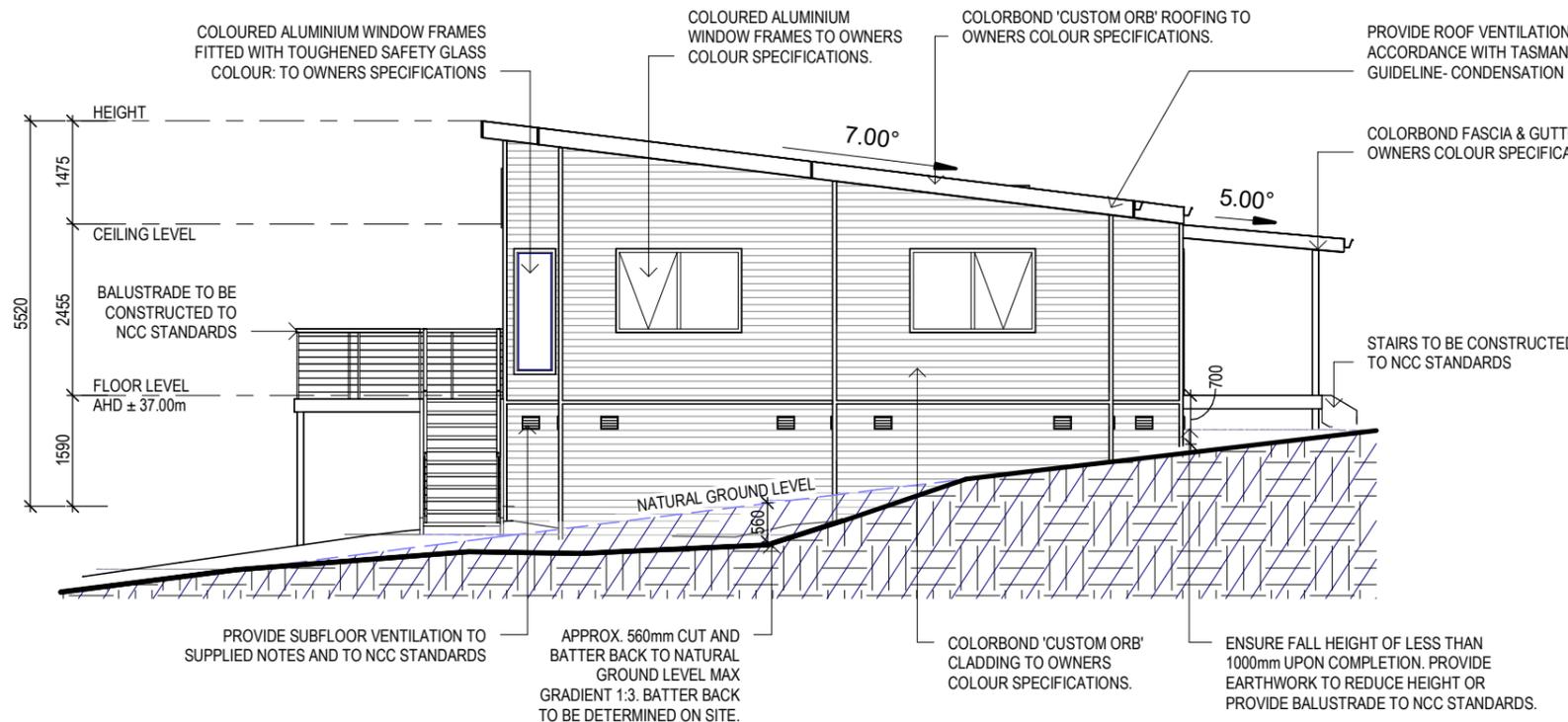
- A MINIMUM OF 150 MM OF SUB FLOOR CLEARANCE IS TO BE PROVIDED BETWEEN FINISHED SURFACE LEVEL & THE UNDERSIDE OF THE FLOOR BEARER.
- A MINIMUM OF 6000 MM² PER METRE OF SUB FLOOR VENTILATION IS TO BE UNIFORMLY DISTRIBUTED AROUND THE EXTERNAL AND INTERNAL WALLS OF THE BUILDING.
- VENTS TO BE LOCATED NO GREATER THAN 600 MM FROM AN INTERNAL OR EXTERNAL CORNER.

PRYDA 230x75 - 52 HOLE VENT MAXIMUM SPACING 1050 MM ALONG WALL OR
 PRYDA 230x165 - 117 HOLE VENT MAXIMUM SPACING 2350 MM ALONG WALL

ADDITIONAL VENTILATION PROVISIONS TO BE INSTALLED WHERE OBSTRUCTIONS SUCH AS CONCRETE VERANDAH'S, DECKS, PATIOS AND PAVING ARE INSTALLED & OBSTRUCT VENTILATION.



NORTH WEST ELEVATION
 SCALE 1 : 100



NORTH EAST ELEVATION
 SCALE 1 : 100

STAIR CONSTRUCTION. ABCB VOLUME 2 PART 11.2

- TREADS: 240 MM
- RISERS: 180 MM
- TREATED PINE TIMBER STAIR MATERIAL TO ASI684
- TREATMENT LEVELS H4 FOR INGROUND USE & H3 FOR ABOVE GROUND USE.
- ALL FIXINGS FITTING BRACKETS AND CONNECTORS TO BE GALVANISED.
- STRINGER: 300x50 F5 TREATED PINE
- TREADS: 240x45 F5 TREATED PINE MAXIMUM TREAD SPAN 1000

ISSUED FOR APPROVAL

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Client:
 Project: **PROPOSED DWELLING**
 Address: **370 PIRATES BAY DR**
EAGLEHAWK NECK TAS

Mob 0417 362 783 or 0417 545 813
 jack@engineeringplus.com.au
 trin@engineeringplus.com.au

Accredited Building Designer
 Designer Name: **J. Pfeiffer**
 Accreditation No: **CC2211T**

Drawing No: **2025-318** A05 / A09 Rev **G**

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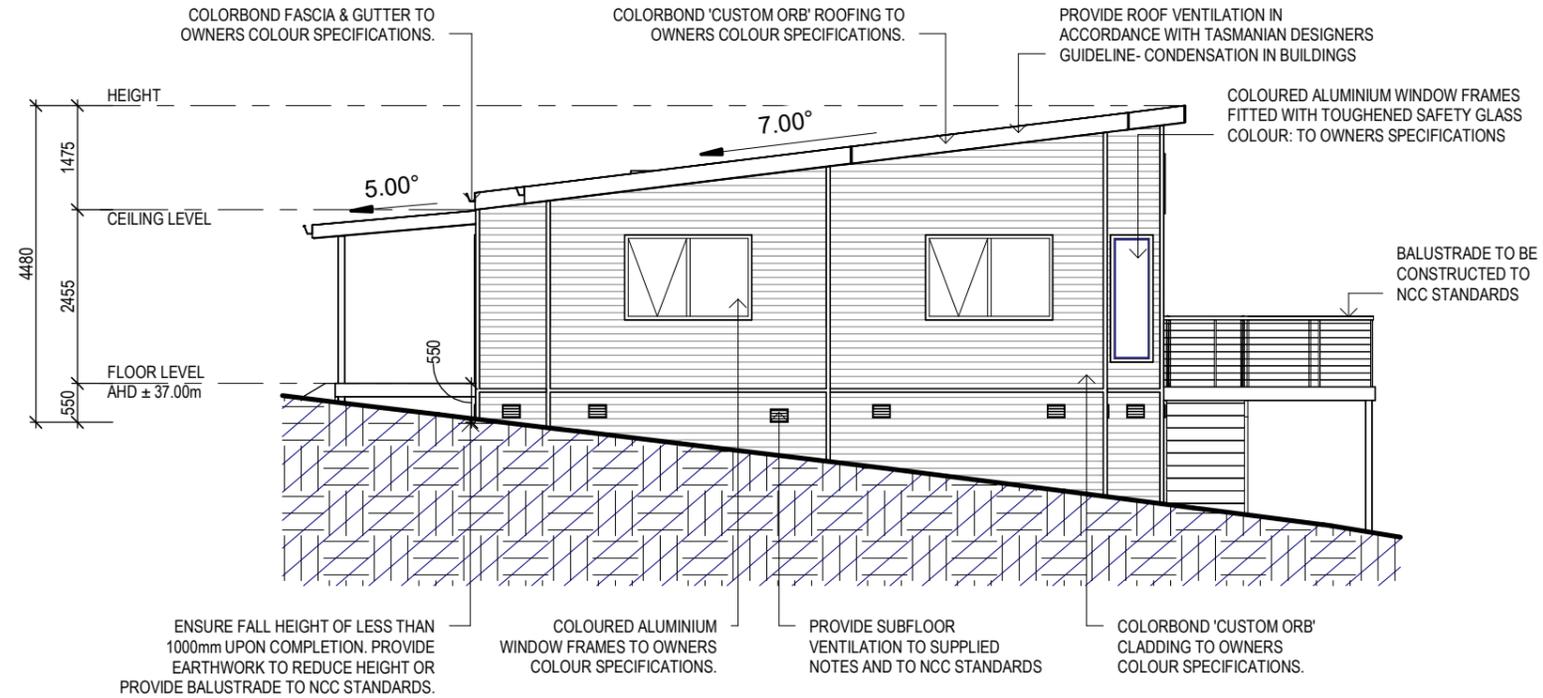
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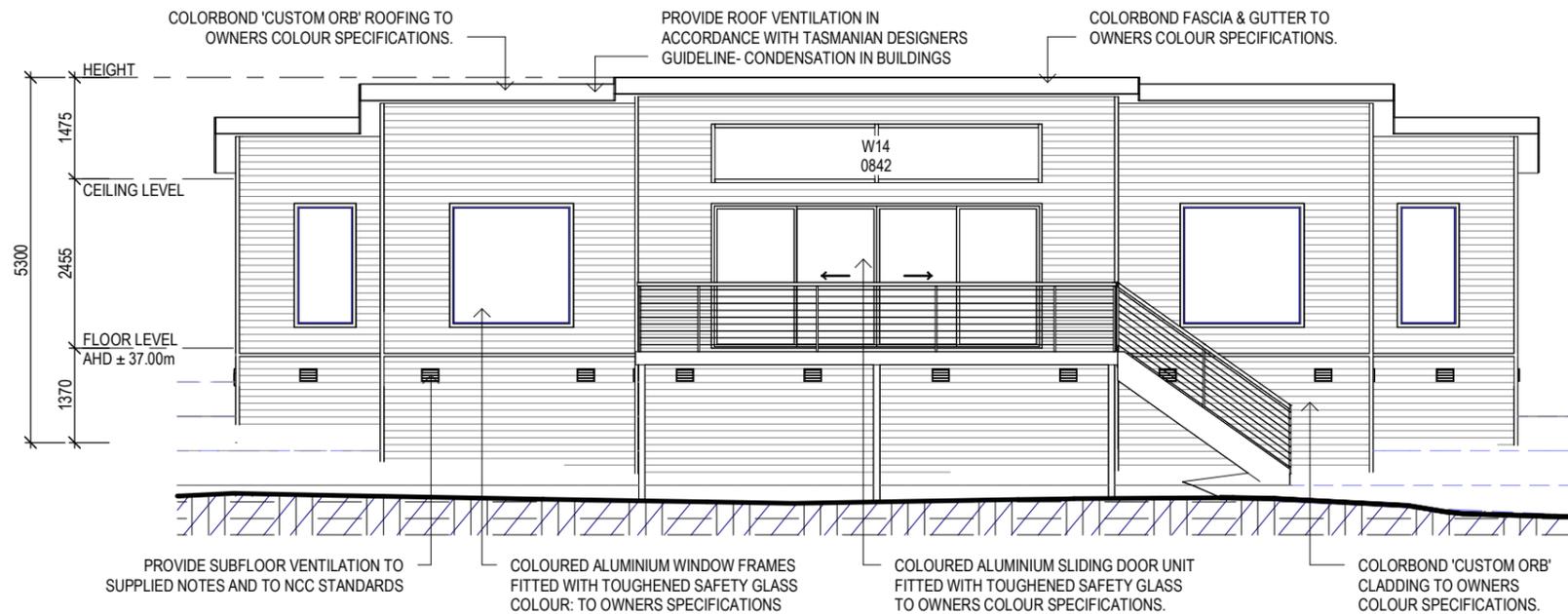
Date Drawn: 10.11.25
 Drawn: W. Tan
 Checked: C. Lim
 Approved: J. Pfeiffer
 Scale: As Shown @ A3

SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING

- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
- FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS



SOUTH WEST ELEVATION
SCALE 1:100



SOUTH EAST ELEVATION
SCALE 1:100

SELECTED ALUMINIUM FRAMED WINDOWS - ABCB VOLUME 2 PART 8.3

POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.
PRIMED PINE REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURERS SPECIFICATIONS.

GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288
ALL FIXINGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS

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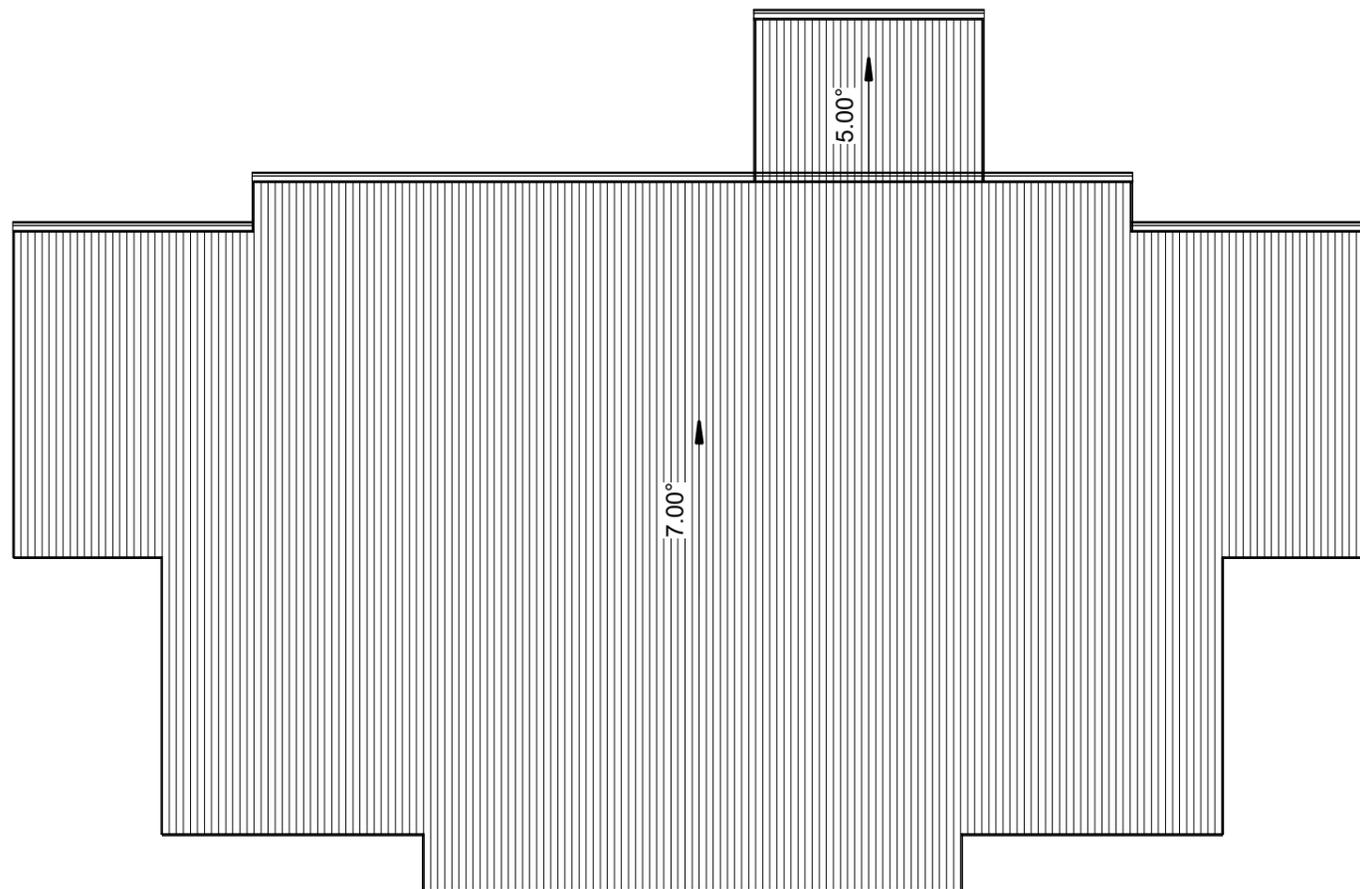
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Accredited Building Designer
Designer Name: J. Pfeiffer
Accreditation No: CC2211T

Drawing No: 2025-318 A06 / A09 Rev G



ROOF PLAN
 SCALE 1 : 100

ROOF CLADDING. NCC PART 7.2 SHEET ROOFING

COLORBOND 'CUSTOM ORB' METAL SHEETING INSTALLED IN ACCORDANCE WITH THIS PART, AS 1562.1 AND MANUFACTURERS RECOMMENDATIONS.

COLORBOND 'TRIMDEK' METAL SHEETING INSTALLED IN ACCORDANCE WITH THIS PART, AS 1562.1 AND MANUFACTURERS RECOMMENDATIONS.

REFER TO LYSAGHT ROOFING & WALLING MANUAL FOR FULL DETAILS ON SHEET INSTALLATION, FIXINGS & FLASHINGS

COLORBOND 'CUSTOM ORB'

- MINIMUM PITCH 5 DEGREES.
- CORROSION PROTECTION IN ACCORDANCE WITH BCA TABLE 3.5.1.1.
- END LAP OF SHEETS 5-15 DEGREES - MINIMUM 200MM.

ABOVE 15 DEGREES - MINIMUM 150 MM.

- RIDGE LINE VALLEY TO BE TURNED UP (STOP ENDED).
- FASTENERS TO BE MADE OF COMPATIBLE MATERIAL WITH ROOFING MATERIAL.
- CREST FIXINGS OF END SPANS @ EVERY SECOND RIB AND INTERNAL SPANS @ EVERY THIRD RIB.
- WHERE POSSIBLE SHEETS TO BE LAID WITH SIDE LAPS FACING AWAY FROM PREVAILING WEATHER.
- REFLECTIVE FOIL INSULATION TO BE FITTED TO UNDERSIDE OF SHEETS.

R3.5 INSULATION BATTS TO ROOF SPACE ABOVE CEILING LINING.

RECOMMENDED FIXINGS FOR SEVERE EXPOSURE CONDITIONS TO AS 3566

USE CLASS 4 MATERIALS FOR SEVERE EXPOSURE & STAINLESS STEEL FOR VERY SEVERE COASTAL ENVIRONMENTS.

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				Accreditation No: CC2211T

Drawing No: **2025-318 A07 / A09** Rev **G**

INSULATION

PROVIDE THERMAL INSULATION IN ACCORDANCE WITH THE FOLLOWING

CEILING
R3.5 "ROCKWOOL" BULK INSULATION OR R3.5 GLASSWOOL BATTS BETWEEN CEILING JOISTS UNDER ROOF COMPOSITE FOIL & R2.0 BLANKET

EXTERNAL WALLS
"TYVEK" HOUSE WRAP TO EXTERNAL FACE
R2.5 GLASSWOOL BATTS BETWEEN STUDS

SUB FLOOR
75mm POLYSTYRENE BETWEEN JOISTS OR R2.0 BATTS

NOTE: CERTIFICATE OF COMPLIANCE TO BE PROVIDED BY THE PERSON ENGAGED TO INSTALL INSULATION TO WALLS AND CEILING AND COPY OF SAME TO BE FORWARDED TO THE BUILDING SURVEYOR.

WALL FRAMING

ALL STEEL FRAMING GENERALLY IS TO COMPLY WITH THE REQUIREMENTS OF AS1684 [RESIDENTIAL STEEL FRAMED CONSTRUCTION] & THE NCC CODE PART 3.4.2 WALL FRAMING TO BE LIGHT GAUGE GALVANISED STEEL. COMMON STUDS - 90x35 @ 450 CRS. NOGGINGS - 90x35 OPEN STUDS - 90x35 TOP & BOTTOM PLATES - 90x35 BRACING TO AS 1684 & NCC CODE

EXTERNAL CLADDING

EXTERNAL WALL CLADDING REFER ELEVATIONS
SUB FLOOR REFER ELEVATIONS

WINDOWS

COLOURED ALUMINIUM WINDOW FRAMES. AWNING & HORIZONTAL SLIDING SASHES, REVEALS AND TRIMS TO OWNERS SPECIFICATIONS ALL FIXINGS AND FLASHING TO MANUFACTURERS RECOMMENDATIONS REFER AS 1288 & CURRENT NCA STANDARDS.

PLASTER

LINE WALLS AND CEILINGS INTERNALLY WITH 10mm PLASTERBOARD SHEETING. SQUARE SET TO CEILING JUNCTION WITH WALL. PLASTERBOARD LININGS TO WET AREAS TO BE "VILLABOARD", W.R. BOARD OR OTHER APPROVED WATERPROOF LINING

SMOKE ALARMS

CLIPSAL LIFESAVER 755 IONISATION SMOKE ALARM 240V HARDWIRED CEILING MOUNTED WITH 9VDC ALKALINE BATTERY BACKUP TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE WITH ABCB OF H3D6 - PART 9.5

SLABS & FOOTINGS

ALL CONCRETE PREPARATION INCLUDING EXCAVATIONS & PLACEMENT OF REINFORCEMENT IS TO BE SEEN & APPROVED BY COUNCIL BUILDING INSPECTOR AND/OR ENGINEER PRIOR TO POURING ANY CONCRETE. REFER TO ENGINEERS DRAWINGS FOR FOOTING & CONCRETE SLAB DETAILS. REFER TO SOIL REPORT FOR CLASSIFICATION & SITE MAINTENANCE REQUIREMENTS.

WET AREAS

WATERPROOFING OF WET AREAS WITHIN THE DWELLING IE: SHOWERS, BATHROOMS WATERPROOFED IN ACCORDANCE WITH ABCB PART 10.2.2 TO 10.2.32 INCLUSIVE AND FIG NO. 3.8.1.5 TO 3.8.1.16 INCLUSIVE AND TABLE 3.8.1.1

DOWNPIPES:

DOWNPIPES TO BE DN90 PVC PAINTED TO MATCH GUTTERING. FIX WITH WALL BRACKETS @ 1200CC BEGINNING AT DOWNPIPE ELBOW. MAXIMUM CENTRES FOR GUTTERS TO BE 12000 AND AS CLOSE AS POSSIBLE TO VALLEYS AND LOCATED SO AS TO COMPLY WITH PART 7.4 OF THE NCC
SELECTED IN ACCORDANCE WITH NCC PART 7.4 & TABLES 7.4.4a TO 7.4.4c

FASCIA

COLORBOND PREFORMED METAL FASCIA AND GUTTER INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. COLOUR TO OWNERS SPECIFICATIONS.

EAVES

OVERHANG ROOFS 600mm WHERE ROOFS OVERHANG LINE WITH FLEX BOARD SHEETING

CAPPINGS & FLASHINGS

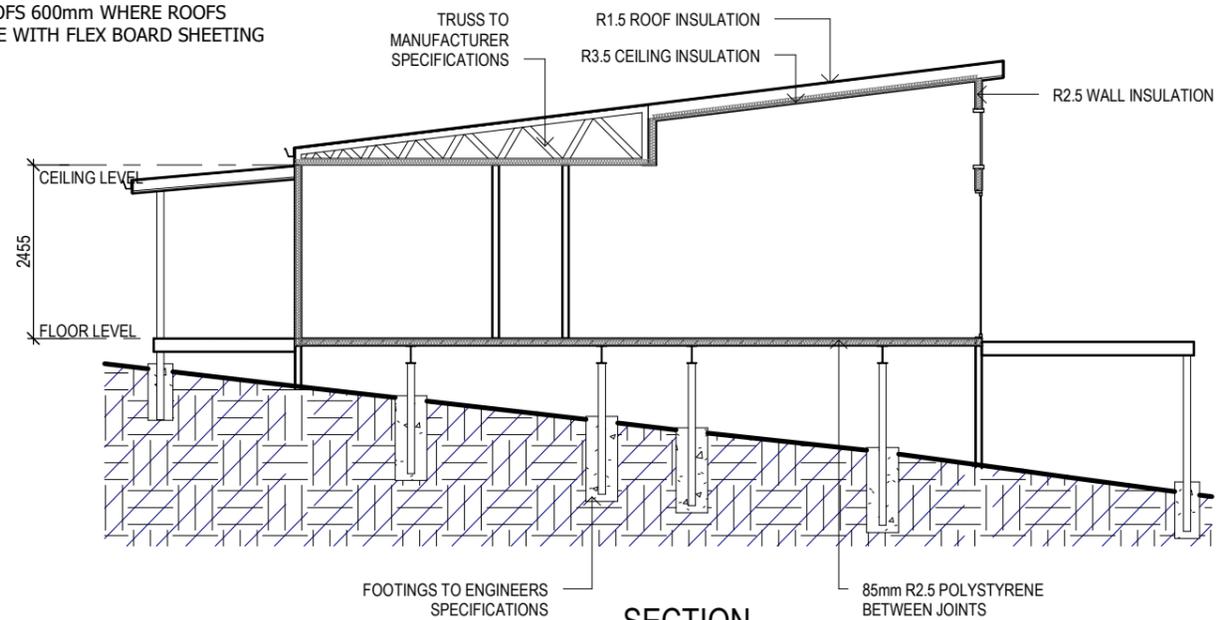
ALLOW FOR PREFORMED CAPPINGS & FLASHINGS NECESSARY TO ENSURE THE INTEGRITY OF THE ROOF STRUCTURE AGAINST WATER PENETRATION. INSTALL FLASHINGS TO ROOF VENTS, FLUES ETC. ALTERNATIVELY USE "DEKTITE" OR SIMILAR FITTINGS TO ROOF PENETRATIONS

GUTTERS

INSTALL SELECTED COLORBOND QUAD GUTTERS OR AS NOMINATED BY THE OWNER, LAP GUTTERS 75MM IN THE DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT. FALL NOT LESS THAN 1:500
FITTED WITH OVERFLOW MEASURES TO COMPLY WITH NCC PART 7.4 & TABLE 7.4.4a, 7.4.4b
VALLEY GUTTERS TO BE DIMENSIONED IN ACCORDANCE WITH NCC PART 7.4 & TABLE 7.4.4c
HAVE A MIN. FREEBOARD OF NOT LESS THAN 15mm
HAVE A ROOF PITCH OF NOT LESS THAN 12.5deg
LAP 150MM UNDER ROOF CLADDING AND TURN UP ON BOTH SIDES.
LAP 150MM IN DIRECTION OF FLOW

ROOF FRAMING

COLORBOND CUSTOM ORB, COLOUR TO OWNERS SPECIFICATIONS
APPROVED ROOF TRUSSES INSTALLED STRICTLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. ALL TRUSS FIXING DETAILS TO BE ADHERED TO. FIX TRUSSES TO TOP PLATES WITH TRIP-L-GRIP CONNECTORS. PROVIDE DIAGONAL BRACING FIXED TO TOP CHORDS AT A MAX ANGLE OF 30° TO RIDGE. ANCHOR STRAP BRACING WITH 6 No 30x1.5 NAILS INTO DOUBLE TOP PLATE. WIND BRACING TO COMPLY WITH NCC



SECTION
SCALE 1 : 100

FIGURE 8 - EXTERNAL WALL VENTED CLADDING SYSTEM - SUSPENDED TIMBER FLOOR BUSHFIRE MESH WHEN REQUIRED TO AS3959

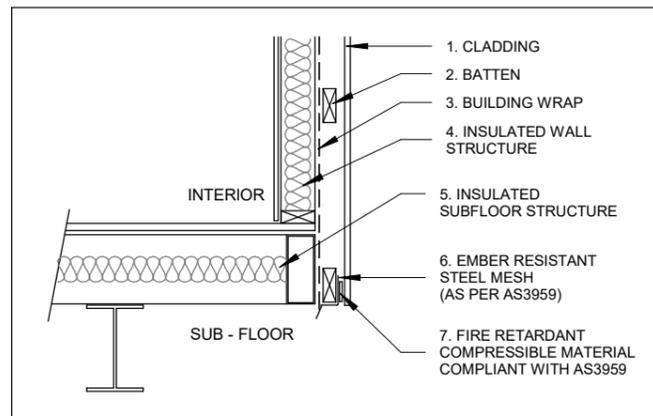


FIGURE 4 - RIDGE DETAILS : SKILLION & IRON ROOF BUSH FIRE MESH WHEN REQUIRED TO AS3959

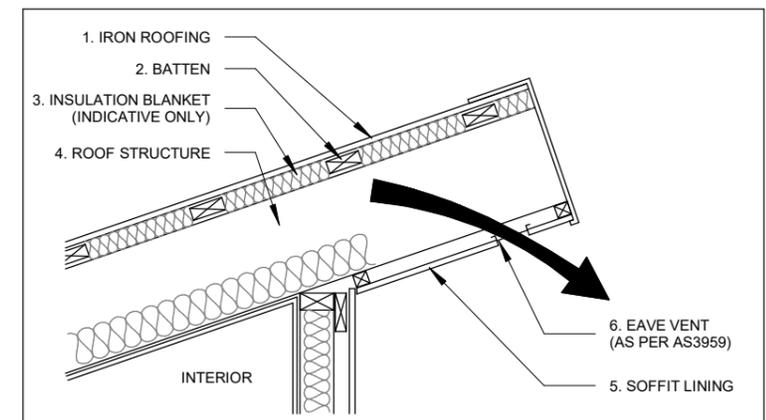
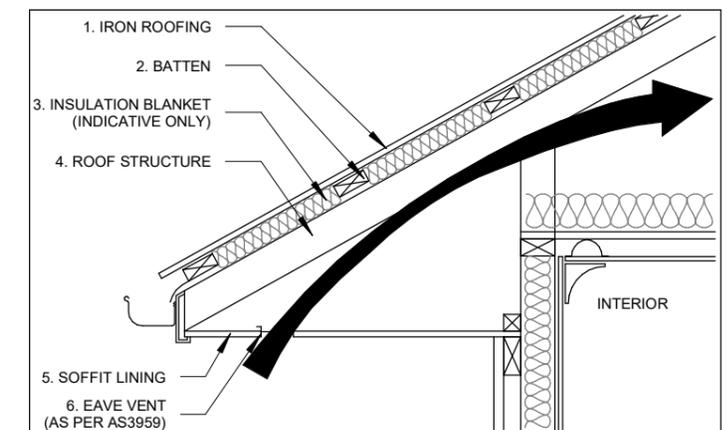


FIGURE 2 - EAVES DETAILS : TRUSS & IRON ROOF BUSH FIRE MESH WHEN REQUIRED TO AS3959



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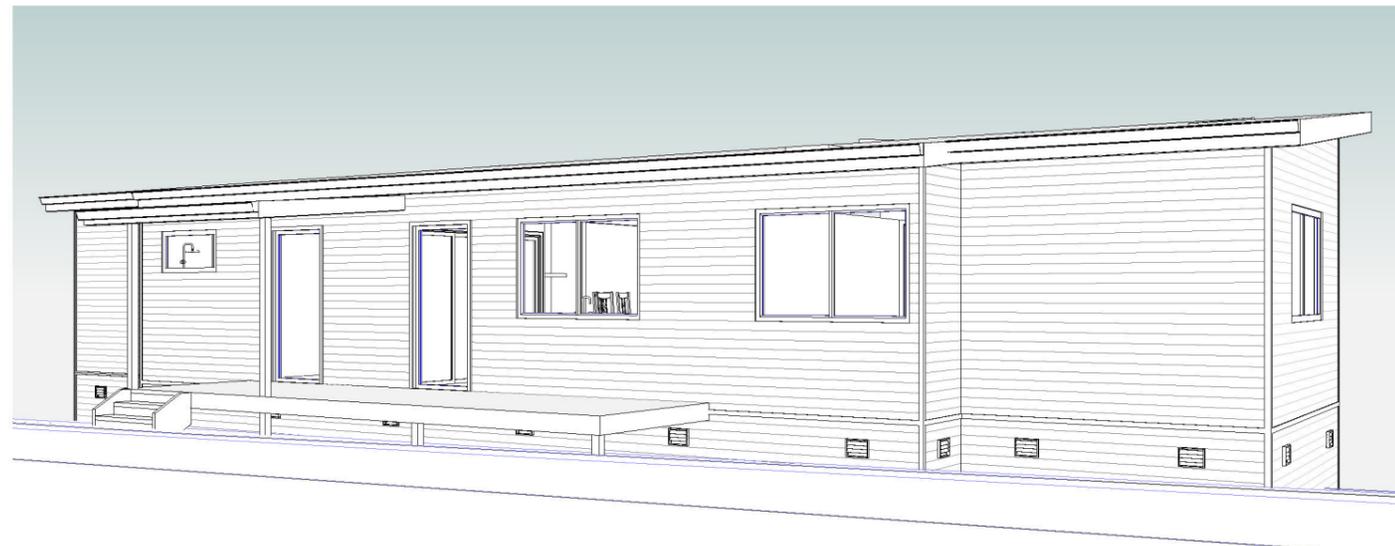
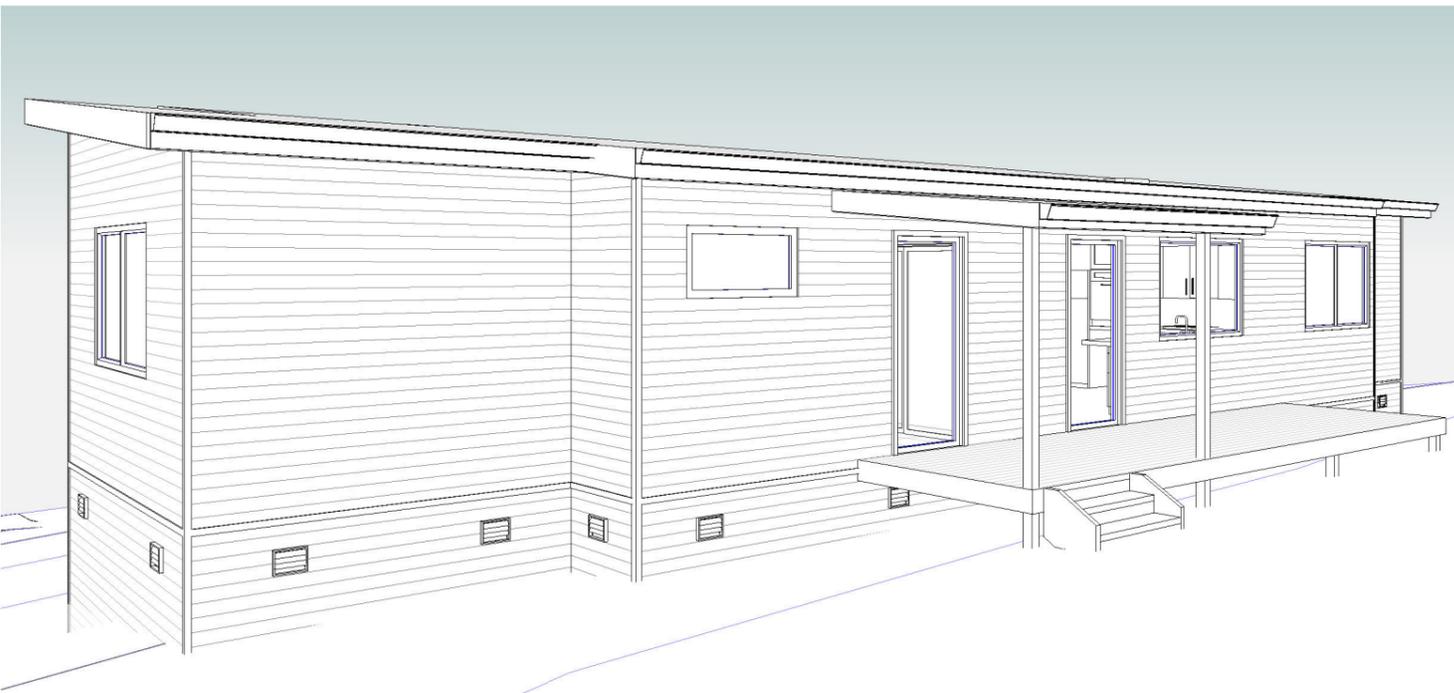
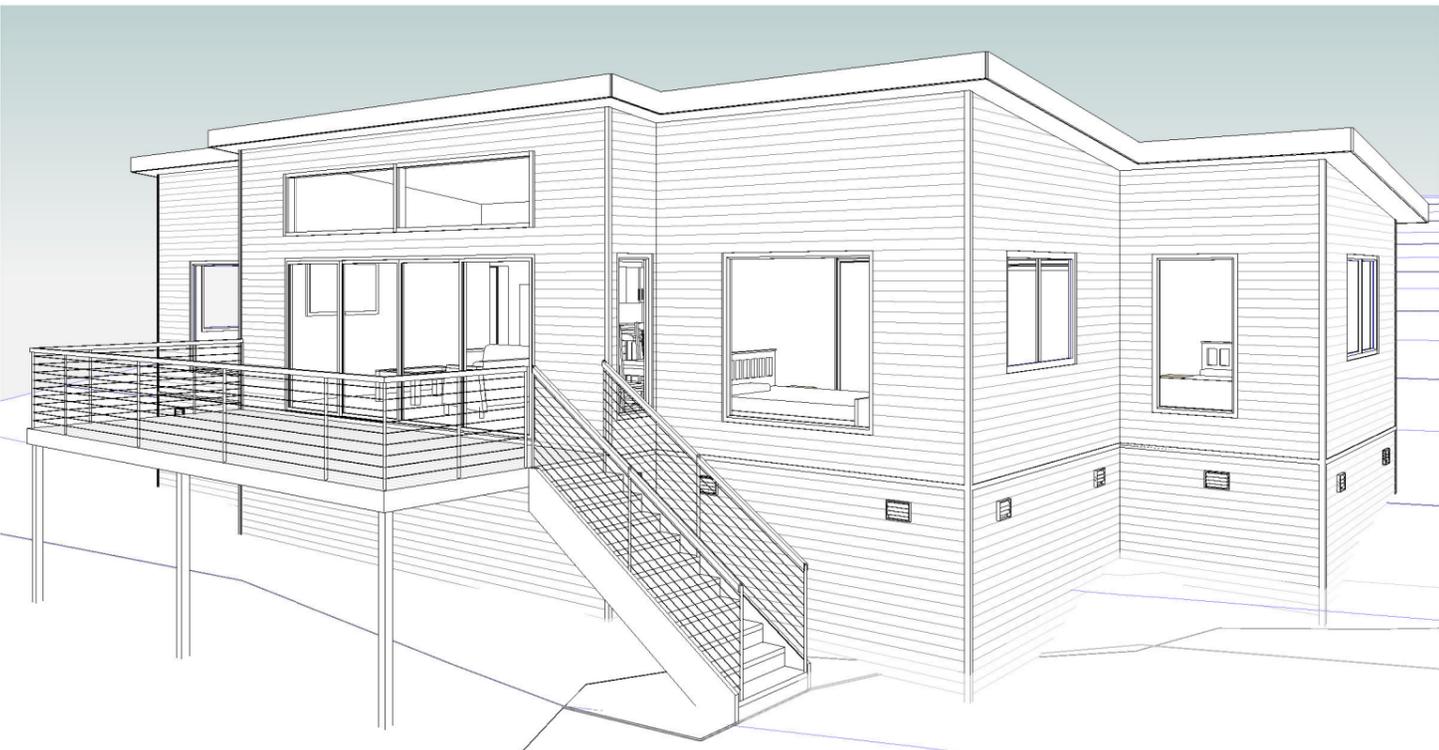
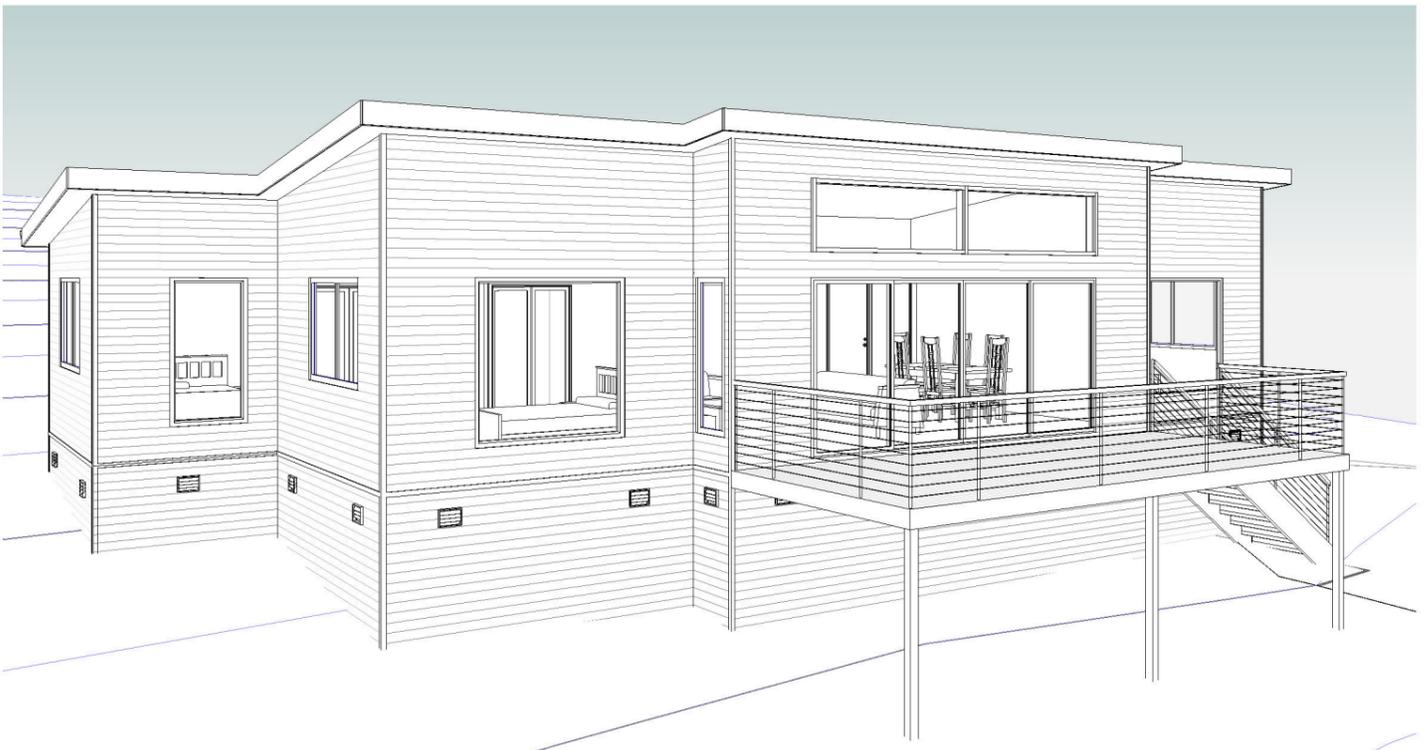
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ENGINEERING PLUS
 BUILDING DESIGN
 PROJECT MANAGEMENT
 CIVIL/STRUCTURAL ENGINEERING

Drawing No: **2025-318 A09 / A09** Rev **G**



December 2025

PLANNING REPORT

DEVELOPMENT - REPLACEMENT SINGLE DWELLING

370 Pirates Bay Drive EAGLEHAWK NECK



Prepared by

Woolcott Land Services Pty Ltd

ABN 63 677 435 924

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BUrbRegEnvPlan

Town Planner

Rev.no	Description	Date
1	Review	
2	Draft	1 December 2025
3	Final	3 December 2025

Annexures

Annexure 1 Copy of Title plan and Folio text

Annexure 2 Proposal Plan

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1. Introduction

This report has been prepared in support of a planning permit application under Section 58 of the *Land Use Planning and Approvals Act 1993*.

Proposed development
Building and works – development of a single dwelling and demolition of existing dwelling.

This application is to be read in conjunction with the following supporting documentation:

Document	Consultant
Proposal Plan	Engineering Plus / Tasbuilt Homes

2. Subject site and proposal

2.1 Site details

Address	370 Pirates Bay Drive, Eaglehawk Neck TAS 7179
Property ID	5959333
Title	5501/4
Land area	5112m ²
Planning Authority	Tasman Council
Planning Scheme	Tasmanian Planning Scheme – Tasman (Scheme)
Easements	None on folio plan (road widening shown)
Application status	Discretionary application
Existing Access	Single crossover from Pirates Bay Drive - unsealed
Zone	Rural Living
General Overlay	None
Overlays	Bushfire-prone areas
Existing development	Single dwelling and outbuildings
Existing services and infrastructure	

Water	Not serviced
Sewer	Not serviced
Stormwater	Not serviced

2.2 Proposal

This proposal is for the development of a single dwelling. The dwelling will be a replacement dwelling; the existing will be demolished.

The proposed dwelling will have 4 bedrooms; 2 bathrooms; laundry; and living areas with kitchen.

The building includes a decked area on the south east and north west elevations. The proposed dwelling has a building area of 148.77m².

The site has existing outbuildings, and the existing vehicle crossing, driveway and parking area will be utilised.

2.3 Subject site

The subject site is on the west side of Pirates Bay Drive within a settlement area at Eaglehawk Neck.

The site has existing residential development and vehicle access. The site is 5112m² with frontage listed on title as to Arthur Highway, but LIST mapping shows as to Pirates Bay Drive.



Figure 1 Aerial view of the subject site (Source: LIST)



Figure 2 Existing access from Pirates Bay Drive looking south southwest



Figure 3 Existing access looking north northeast



Figure 4 Existing driveway and parking area



Figure 5 Site looking south east towards existing dwelling and outbuildings

3. Zoning and overlays

3.1 Zoning

The site is zoned Rural Living under the Scheme.

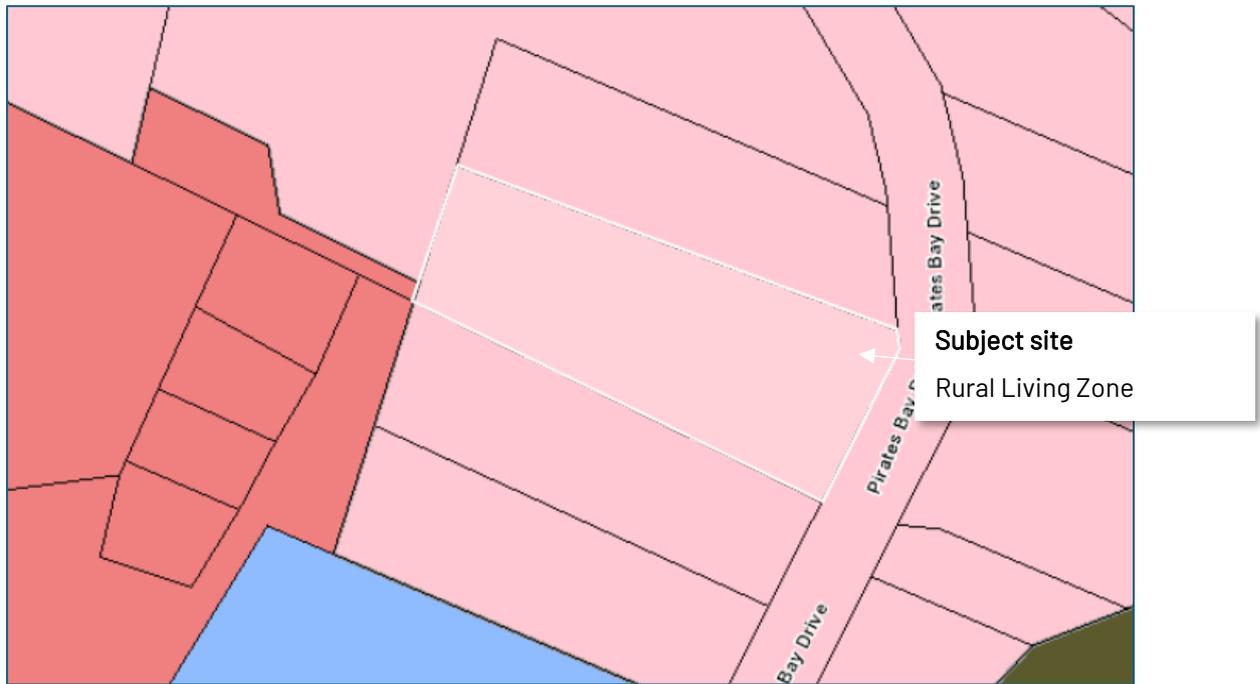


Figure 6 Zoning of the subject site and surrounding area (Source: LIST)

3.2 Overlays

The site is affected by the Bushfire-prone areas overlay.



Figure 7 Overlays affecting the subject site (Source: LIST)

4. Planning Scheme Assessment

4.1 Zone assessment

11.0 Rural Living Zone

11.1 Zone Purpose

11.1.1	To provide for residential use or development in a rural setting where: (a) services are limited; or (b) existing natural and landscape values are to be retained.
11.1.2	To provide for compatible agricultural use and development that does not adversely impact on residential amenity.
11.1.3	To provide for other use or development that does not cause an unreasonable loss of amenity, through noise, scale, intensity, traffic generation and movement, or other off site impacts.
11.1.4	To provide for Visitor Accommodation that is compatible with residential character.

Response

The proposed residential use and development is in accord with the purpose of the zone.

11.2 Use Table

No Permit Required	
Residential	If for a single dwelling.

Response

The proposed Use is a *No Permit Required* Use and is existing on the site.

11.4 Development Standards for Buildings and Works

11.4.1 Site coverage

Objective	
That the site coverage:	
(a) is compatible with the character of existing development in the area; and	
(b) assists with the management of stormwater runoff.	
Acceptable Solutions	Performance Criteria
A1 The site coverage must be not more than 400m ² .	P1 The site coverage must be consistent with that existing on established properties in the area, having regard to: a) the topography of the site; b) the capacity of the site to absorb runoff; c) the size and shape of the site;

	<ul style="list-style-type: none"> d) the existing buildings and any constraints imposed by existing development; e) the need to remove vegetation; and f) the character of development existing on established properties in the area.
--	--

RESPONSE

A1 The acceptable solution is achieved. The proposed dwelling is 148m² and the existing outbuildings equal 80m² which totals 228m².

11.4.2 Building height, setback and siting

Objective	
<p>That height, setback and siting of buildings:</p> <ul style="list-style-type: none"> (a) is compatible with the character of the area; (b) does not cause an unreasonable loss of amenity; (c) minimises the impact on the natural values of the area; and (d) minimises the impact on adjacent uses. 	
Acceptable Solutions	Performance Criteria
<p>A1 A dwelling must have a building height not more than 8.5m.</p>	<p>P1 Building height must be compatible with the character of the area and not cause an unreasonable loss of amenity to adjoining properties having regard to:</p> <ul style="list-style-type: none"> a) the topography of the site; b) the height, bulk and form of existing buildings on the site and adjoining properties; c) the bulk and form of proposed buildings; d) sunlight to habitable rooms and private open space in adjoining properties; and e) any overshadowing of adjoining properties or public places.
<p>A2 Buildings must have a setback from a frontage of not less than 20m.</p>	<p>P2 Buildings must be sited to be compatible with the character of the area, having regard to:</p> <ul style="list-style-type: none"> a) the topography of the site; b) the setbacks of adjacent buildings; c) the height, bulk and form of existing and proposed buildings; d) the appearance when viewed from roads and public places; and e) the retention of vegetation.

<p>A3 Buildings must have a setback from side and rear boundaries of not less than 10m.</p>	<p>P3 Buildings must be sited to not cause an unreasonable loss of amenity to adjoining properties, having regard to:</p> <ul style="list-style-type: none"> a) the topography of the site; b) the size, shape and orientation of the site; c) the setbacks of surrounding buildings; d) the height bulk and form of existing and proposed buildings; e) the character of the development existing on established properties in the area; and f) any overshadowing of adjoining properties or public places.
<p>A4 Buildings for a sensitive use must be separated from an Agriculture Zone or Rural Zone a distance of:</p> <ul style="list-style-type: none"> a) not less than 200m; or b) (b) if the setback of an existing building is within 200m, not less than the existing building. 	<p>P4 Buildings for a sensitive use must be sited so as to not conflict or interfere with uses in the Agriculture Zone or Rural Zone, having regard to:</p> <ul style="list-style-type: none"> a) the size, shape and topography of the site; b) the separation of any existing buildings for sensitive uses on adjoining properties; c) the existing and potential use of adjoining properties; d) any proposed attenuation measures; and e) any buffers created by natural or other features.

RESPONSE

- A1 The acceptable solution is achieved. The dwelling is 5.5m in height.
- A2 The acceptable solution is achieved. The proposed building meets the setback requirement. There will be an existing outbuilding that is closer to the frontage but also compliant.
- A3 The acceptable solution is achieved, the side and rear setbacks of the proposed meet the minimum of 10m. Existing outbuildings have reduced setbacks, however, they are not a part of this proposal.
- A4 The acceptable solution is achieved. The Rural Zone is more than 200m in distance from the subject site.

4.2 Code Assessment

C2.0 Parking and Sustainable Transport Code

C2.5 Use Standards

Response

A1 The acceptable solution is achieved. Two car parking spaces can be accommodated on the site as existing.

C2.6 Development standards for buildings and works

No construction is proposed as all driveway and parking areas are as existing for the current dwelling.

C13.0 Bushfire-Prone Areas Code

C13.2 Application of this Code

C13.2.1 This code applies to:

- (a) subdivision of land that is located within, or partially within, a bushfire-prone area; and
- (b) a use, on land that is located within, or partially within, a bushfire-prone area, that is a vulnerable use or hazardous use.

Response

The Code does not apply to a building application for a dwelling.

3. Conclusion

This application is for a single replacement dwelling. The existing dwelling will be demolished and the site will retain existing outbuildings. The proposed is in accord with the provisions of the Scheme and a planning permit is sought from Council.