

## NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval under the Land Use Planning and Approvals Act 1993, for the following development(s):

<b>NUMBER:</b>	DA 11 / 2026
<b>ADDRESS:</b>	116 Blowhole Rd, Eaglehawk Neck (CT: 79493/21)
<b>DESCRIPTION:</b>	Residential – Construction of a Dwelling, Deck and Outbuilding

All plans and documents submitted with the application can be inspected at the Tasman Council Office, Monday to Friday from 8:30am to 4:30pm. In addition to the statutory requirements, some documents, relevant to the assessment of the application are available on the council website by following this link:

<https://tasman.tas.gov.au/advertised-applications/>, by using the QR Code below, or they are available in hard copy upon request by calling Council on (03) 6250 9200 or email [tasman@tasman.tas.gov.au](mailto:tasman@tasman.tas.gov.au) during the period for which representations may be made, until **25 March 2026**.

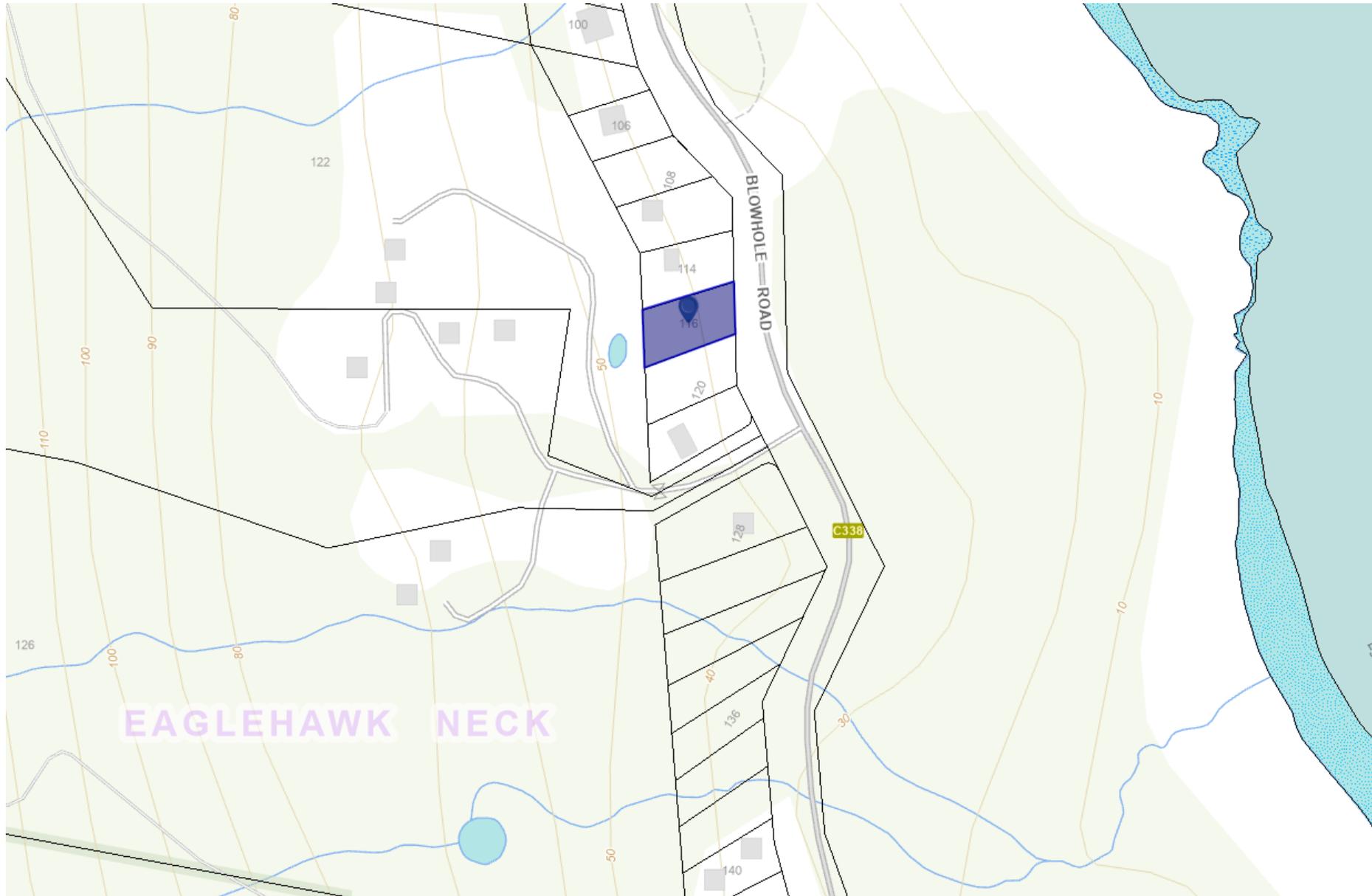
Any person may make a representation relating to the application. Representations are to be made in writing addressed to the General Manager, Tasman Council, 1713 Main Road, Nubeena TAS 7184 or by email to [tasman@tasman.tas.gov.au](mailto:tasman@tasman.tas.gov.au) and will be received no later than **25 March 2026**. Late representations will not be considered.



**Blake Repine**  
General Manager  
Date: 12 March 2026

DA 11 / 2026, 116 Blowhole Rd, Eaglehawk Neck (CT 79493/21) – The relevant plans and documents can be inspected at the Council Office at 1713 Main Road, Nubeena during normal office hours, or the plans may be viewed on Council’s website at [www.tasman.tas.gov.au](http://www.tasman.tas.gov.au) until the date representations close 25 March 2026.

The below image was sourced from The List: <https://maps.thelist.tas.gov.au/listmap/app/list/map>



## Application for Planning Permit

The personal information requested on this form is being collected by council for purpose set out in the title of the form. The personal information will be used solely by council for the primary purpose or directly related purposes. The applicant understands that personal information is provided for the above mentioned function and that he/she may apply to council for access to and/or amendment of the information. If an application is made under Section 57 of the Land Use Planning and Approvals Act 1993, a copy of the lodgement documents must be made available for any person to inspect during public notification. Please note that any information, reports and plans submitted with an application are treated as public documents and may be reproduced for representatives, referral authorities and any other persons/bodies interested in the proposal. Requests for access or correction should be made to Tasman Council's Customer Service Officer.

\* Indicates mandatory field

### APPLICANT DETAILS\*

FULL NAME	G Hills & Partners Architects		
POSTAL ADDRESS		POSTCODE	
PHONE (BUSINESS HOURS)		MOBILE:	
EMAIL			

NOTE: All Council correspondence will be emailed to the applicant unless otherwise specified.

### OWNERS DETAILS (IF DIFFERENT TO APPLICANT DETAILS)\*

ENSURE OWNER DETAILS MATCH THE CURRENT CERTIFICATE OF TITLE

FULL NAME			
POSTAL ADDRESS		POSTCODE	
PHONE (BUSINESS HOURS)		MOBILE	

### DESCRIPTION OF PROPOSED DEVELOPMENT\*

<input checked="" type="checkbox"/> New Dwelling	<input type="checkbox"/> Extension/ Addition	
<input type="checkbox"/> New Shed/ Outbuilding	<input type="checkbox"/> Demolition	
<input type="checkbox"/> Subdivision/ Boundary Adjustment	<input type="checkbox"/> Visitor Accommodation	
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Other (please specify – right)	
<input type="checkbox"/> Commercial/ Industrial Building		

<b>Are any of the components in this application seeking retrospective approval?*</b> E.g. Use and/or development that has commenced without a planning permit. (If yes, please specify the relevant components)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
_____ _____	

<b>PRESENT USE OF LAND/ BUILDING(S)*</b>
Vacant land
_____ _____

**LOCATION OF PROPOSED DEVELOPMENT\***

ADDRESS	116 Blowhole Road, Eaglehawk Neck		
CERTIFICATE OF TITLE: FOLIO NUMBER	79493	LOT NUMBER	21

<b>FLOOR AREA*</b>	
Existing floor area (square metres): n/a	Proposed floor area (square metres): 155m2
<b>CAR PARKING*</b>	
Number existing	Number proposed 2

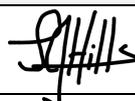
<b>SITE CONTAMINATION*</b>	
Have any potentially contaminating uses been undertaken on this site? (Refer to list provided on page 5)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<b>TASMANIAN HERITAGE OR ABORIGINAL HERITAGE REGISTER*</b>	
Is this property on the Tasmanian Heritage or Aboriginal Heritage Register?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<b>VEGETATION REMOVAL*</b>	
Does the proposal require any vegetation removal? If yes, provide details on the site plan.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<b>VALUE*</b>	
Value of work (inc. GST)	\$ 220,000

**\*Please complete both declarations if you are making the application but not the owner\***

**DECLARATION BY APPLICANT\***

I/ we declare that the information given is a true and accurate representation of the proposed development; and I/ we am/ are liable for the payment of Council application processing fees, even in the event of the development not proceeding; and I/ we authorise Tasman Council to provide a copy of my documents relating to this application to any person for the purpose of assessment and public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.	
SIGNATURE OF APPLICANT	
NAME OF APPLICANT (PLEASE PRINT)	Graham Hills RAIA
DATE	22/01/2026

**DECLARATION IF APPLICANT IS NOT THE OWNER**

I hereby declare that I am the applicant for the development at the address detailed in this application for a planning permit, and that I have notified the owner/s of the land for which I am making this application, in accordance with Section 52(1a) of the <i>Land Use Planning and Approvals Act 1993</i> .	
SIGNATURE OF APPLICANT	
NAME OF APPLICANT (PLEASE PRINT)	
DATE	21/01/2026
NAME/S OF OWNER/S NOTIFIED	
DATE	21/01/2026

## DECLARATION IF LAND IS COUNCIL OR CROWN LAND

If the land that is the subject of this application is owned or administered by either the Crown or Tasman Council, the consent of the Minister of the Crown or the General Manager of the Council, whichever is applicable, must be included here. This consent should be completed and signed by either the Minister, the General Manager of Tasman Council, or their delegate (as specified in Subsections 52(1d-1g) of the <i>Land Use Planning and Approvals Act 1993</i> ).	
<b>DECLARATION</b>	I, _____ being responsible for the administration of land at _____  declare that I have given permission for the making of this application.
<b>SIGNATURE OF MINISTER/ GENERAL MANAGER</b>	
<b>DATE</b>	

## NON-RESIDENTIAL DEVELOPMENTS

Note: This section must be completed for all applications for non-residential uses, home occupations and domestic/ residential businesses or other managed/ commercial residential uses (e.g. hostel or motel).

HOURS OF BUSINESS			
CURRENT		PROPOSED	
Monday to Friday		Monday to Friday	
Saturday		Saturday	
Sunday		Sunday	
NUMBER OF EMPLOYEES			
CURRENT		PROPOSED	
Total Employees		Total Employees	
Employees on Site		Employees on Site	
PLANT/ MACHINERY			
Is there any large plant or machinery that would need to be installed or used on site such as refrigeration units and generators? (If yes, please list below the type of machinery and ensure location, dimensions etc are clearly marked on your plans.)			<input type="checkbox"/> Yes <input type="checkbox"/> No
OUTDOOR STORAGE/ SEATING/ NUMBER OF BEDS			
Is outdoor storage proposed? (If yes, please ensure that your plans show where the outdoor storage areas are and what type of goods are stored. This information will help us assess the impact of the proposal on the amenity.)			<input type="checkbox"/> Yes <input type="checkbox"/> No
If you are proposing a night club, café or the like, what is the number of seats proposed including the capacity at any bar area?		Please ensure that the arrangements are shown on your plans. This information enables us to assess the car parking arrangements.	
If you are proposing a hotel, motel, visitor accommodation, hostel or the like, what is the number of beds proposed?		Please ensure the beds are clearly indicated on your plans. This information enables us to assess the car parking arrangements.	
GOODS DELIVERIES			
Will there be any goods deliveries to and from the site? (If yes, please estimate the number and type of vehicles and how often they will make trips.)			<input type="checkbox"/> Yes <input type="checkbox"/> No
Type and Size of Vehicle		Number of Vehicles on Site	
Trip Frequency per Month			

**PLANNING PERMIT – APPLICATION CHECKLIST – MANDATORY**

To ensure that we can process your application as quickly as possible, please read the following checklist carefully to ensure that you have provided the following at the time of lodging the application.

If you are unclear on any aspect of your application, please phone **(03) 6250 9200** to discuss or arrange an appointment concerning your proposal. Note that, in accordance with Section 54 of the *Land Use Planning and Approvals Act 1993*, Council may require additional information.

**Please note that the following information is required by Clause 6.1 of the State Planning Provisions. An application will not be considered to be a valid application and will not be processed without the required information as detailed below.**

Please complete the below checklist

**Completed Application Form - Required**

All sections and filled out correctly and owner details match those listed on the title documents  
Application form includes a detailed cost estimate of the proposal

**Written Submission - Required**

Description of the proposed development  
Justification addressing the Performance Criteria (if applicable)

**Title Documents - Required**

Current copy of the Certificate of Title (Folio Plan and Text Page)  
Copies of any restrictive covenants, easements, or other relevant documents.

**Site Plan - Required**

Drawn to scale  
Shows the location of the proposed development including setback distances from boundaries  
Includes existing structures, property boundaries, access points, driveways, parking areas, rainwater tanks and any natural features (vegetation and waterways)

**Floor Plan and Elevations - Required**

Detailed floor plans of the proposed development  
Elevations showing the height and external appearance

**Stormwater and Servicing Plan - Required**

Details on how stormwater will be managed on-site  
Information about connections to utilities (water, sewer, electricity)  
Elevations showing the height and external appearance of all water tanks

**Landscaping Plan - if applicable**

Details of existing vegetation to be retained or removed

**Supporting Reports and Assessments - if applicable**

Bushfire Hazard Management Plan and Report  
Traffic Impact Assessment  
Natural Values Assessment  
Onsite Wastewater Assessment

Dated: 21/01/2026

Signed: 

Please note the following:

Application fees will be invoiced upon initial assessment, this is within 4 business days of submission.  
If this application results in building works occurring on the property, applicant and/or owner information including name and contact details will be provided to the Office of the Valuer General for the purpose of undertaking a valuation inspection of the property / building works.

<b>POTENTIALLY CONTAMINATING ACTIVITIES</b>	
Agricultural Fertiliser Manufacture	Metal Founders
Asbestos Production and Manufacture	Metal Sprayers
Battery Manufacture and Recycling	Metal Treatments and Picklers
Chemical Manufacture or Formation	Mining and Extractive Industries
Defence Establishments and Training Areas	Pest Controllers (being areas where pest control chemicals are stored or vehicles and tanks used in connection with pest control are washed.)
Drum Reconditioning Wastes	Petroleum and Petrochemical Industries
Dry Cleaning Establishments	Pharmaceutical Manufacture or Formation
Electroplating	Printers
Explosives Production and Storage	Railway Yards
Fuel Depots and Storage Areas	Sanitary and Refining
Galvanisers	Scrap Yards
Gas Works	Service Stations
Gun, Pistol and Rifle Clubs	Smelting and Refining
Hazardous Waste Landfills	Tannery or Fellmongery or Hide Curing Works
Industrial Cleaners	Wood Treatment and Preservation Sites
Lime Burners	

SEARCH OF TORRENS TITLE

VOLUME 79493	FOLIO 21
EDITION 9	DATE OF ISSUE 30-Oct-2025

SEARCH DATE : 22-Jan-2026

SEARCH TIME : 03.58 pm

DESCRIPTION OF LAND

Parish of TARANNA, Land District of PEMBROKE  
 Lot 21 on Diagram [79493](#) (formerly being 343-10D)  
 Derivation : Part of Lot 32133 Gtd. to E.L. Mulcahy  
 Prior CT [4179/47](#)

SCHEDULE 1

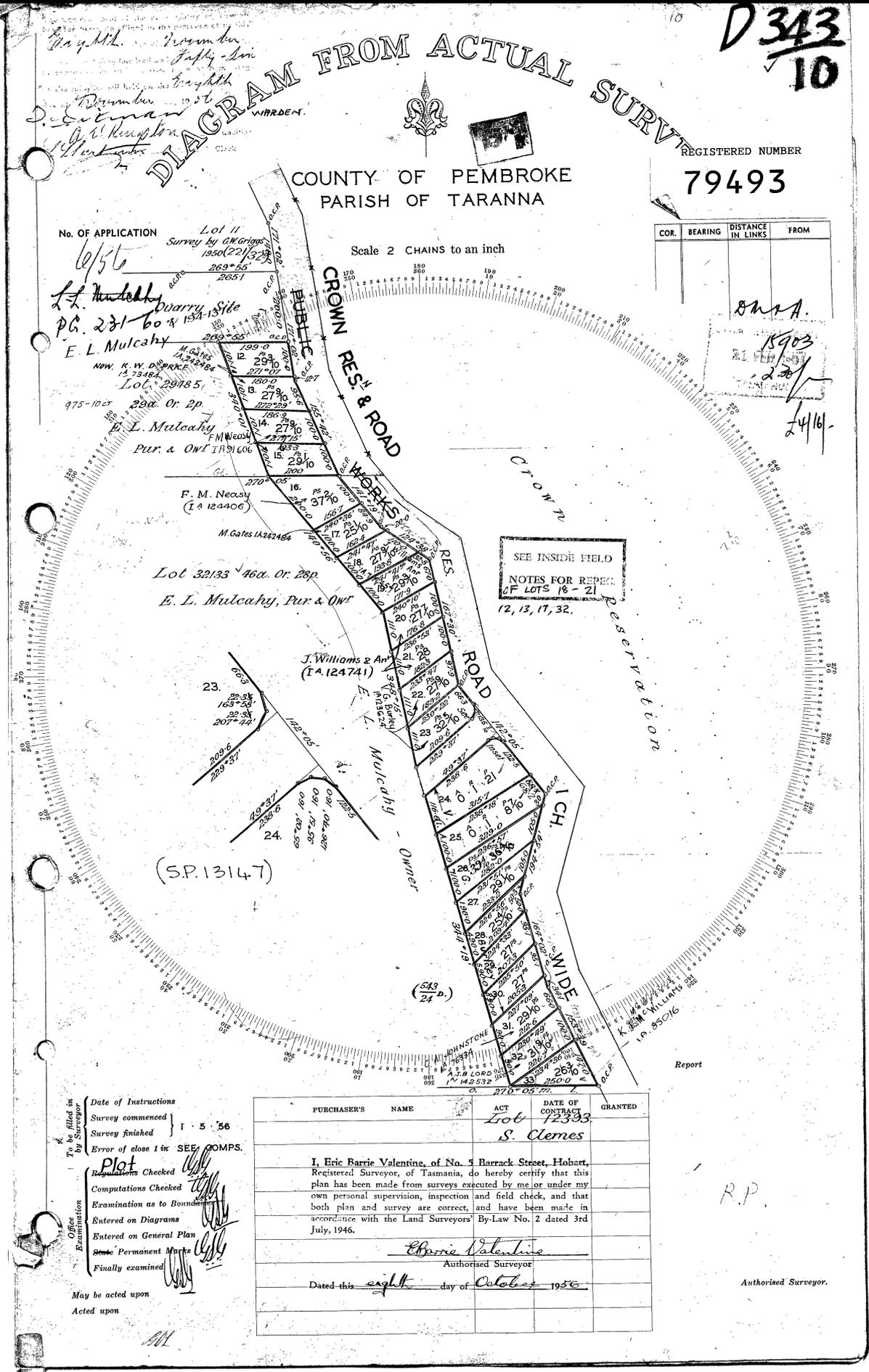
[N285177](#) TRANSFER to  
 Registered 30-Oct-2025 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
[A124741](#) FENCING CONDITION in Transfer

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



# **P R O P O S E D   N E W   D W E L L I N G**

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for:

at: 116 Blowhole Road, EAGLE HAWK NECK

Project No. **22586**

Date: Feb. 2026

## **DESIGN DEVELOPMENT DRAWINGS**

### **Drawing Schedule**

DD01	Existing Site Plan
DD02	Proposed Site Plan
DD03	Proposed Floor Plan
DD04	Proposed Elevations 1
DD05	Proposed Elevations 2

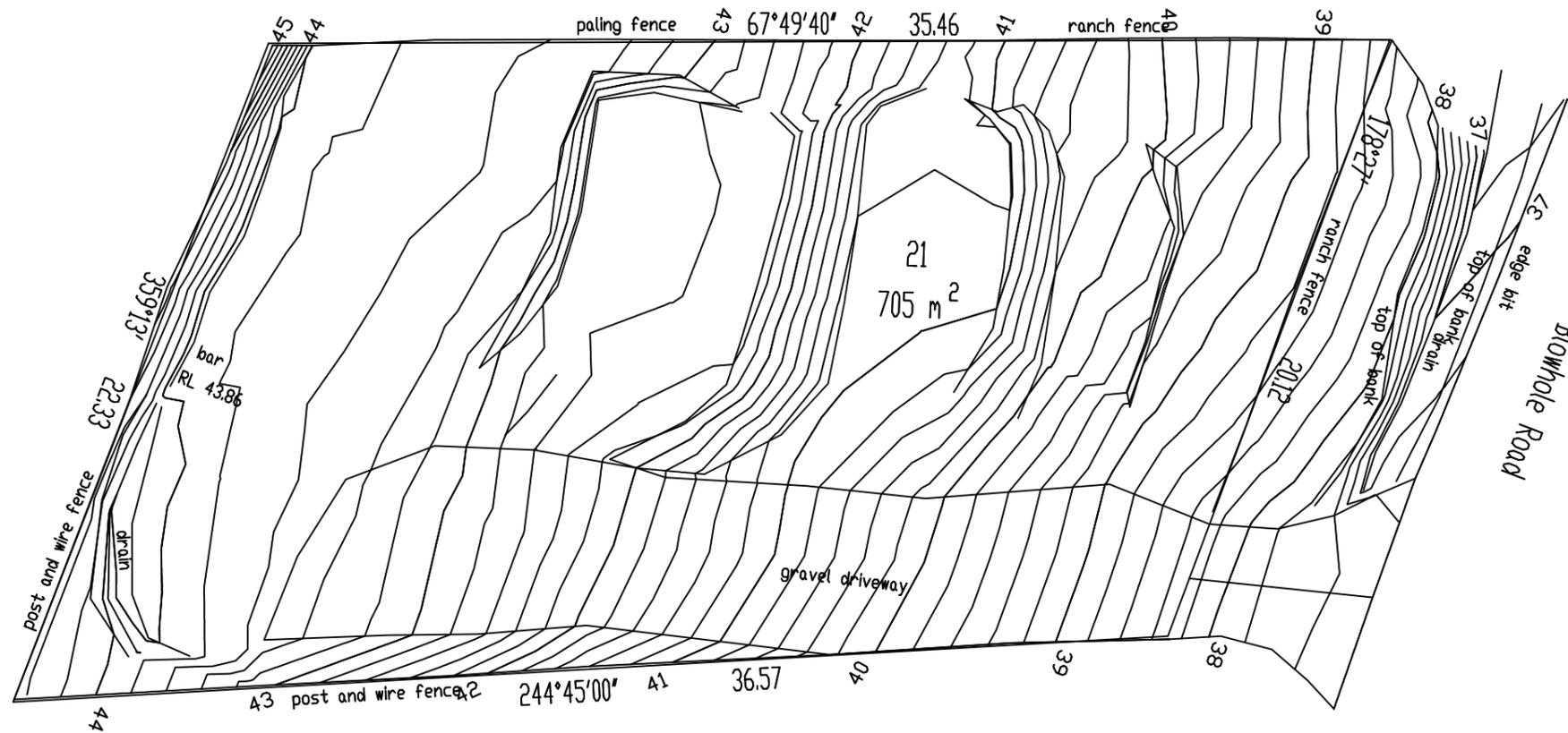
Prepared by:

**G.Hills**&Partners ARCHITECTS



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P.O. Box 910, Kingston, Tas 7051  
Ph: (03) 6229 1799   Mob: 0419 883 370  
Email: [graham.hills@bigpond.com](mailto:graham.hills@bigpond.com)  
Tas Building Practitioner No. CC2367B



EXISTING SITE PLAN

1:200



- NOTES:
- \* Do not scale the drawings.
  - \* Verify levels / dimensions on site prior to commencement, report any discrepancies / variations to designer.
  - \* Materials / workmanship to comply with AS codes, BCA & relevant regulations.

REVISION NOTES

No.	Revision/Issue	Date

**G.Hills&Partners ARCHITECTS**

PO Box 910, KINGSTON, TAS 7051  
 P 03 6229 1799 E graham.hills@bigpond.com  
 Building Designer Accreditation No. CC2367B

Project Name and Address

PROPOSED NEW DWELLING

116 Blowhole Rd, Eaglehawk Neck

Drawing Title

EXISTING SITE PLAN

Client

DRAWING TYPE

Design Dev' Drawings

Date  
26-Feb-26

Scale Size  
1:200 A3

PROJECT No.

22586

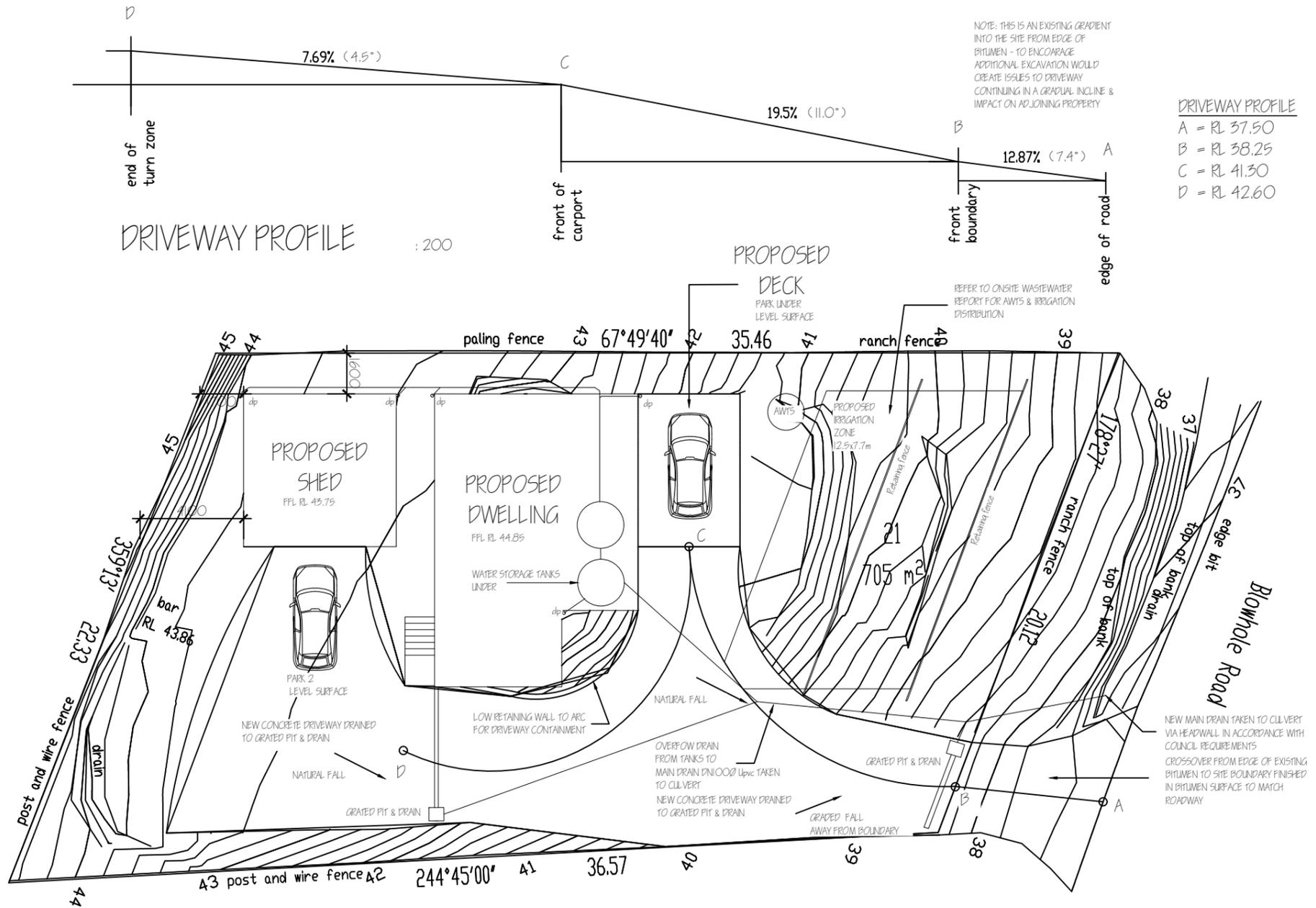
SHEET DD01

CHECKED G. HILLS

DESIGN G. HILLS

DRAWN M. Kamankesh

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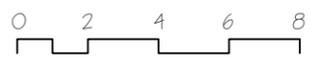


NOTE: THIS IS AN EXISTING GRADIENT INTO THE SITE FROM EDGE OF BITUMEN - TO ENCOURAGE ADDITIONAL EXCAVATION WOULD CREATE ISSUES TO DRIVEWAY CONTINUING IN A GRADUAL INCLINE & IMPACT ON ADJOINING PROPERTY

**DRIVEWAY PROFILE**

A	= RL 37.50
B	= RL 38.25
C	= RL 41.30
D	= RL 42.60

**PROPOSED SITE PLAN**



1: 200

LEGEND:  
 DP = DOWNPIPE  
 GD = GRATED DRAIN  
 GP = GRATED PIT

TOTAL DRIVEWAY AREA 222m<sup>2</sup>  
 CARPORT (under deck) 24m<sup>2</sup>  
 TOTAL IMPERVIOUS 246m<sup>2</sup>

**NOTES:**  
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**REVISION NOTES**

No.	Revision/Issue	Date
B	Revised Notations	Feb. 2026

**G.Hills&Partners ARCHITECTS**

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 Building Designer Accreditation No. CC2367B

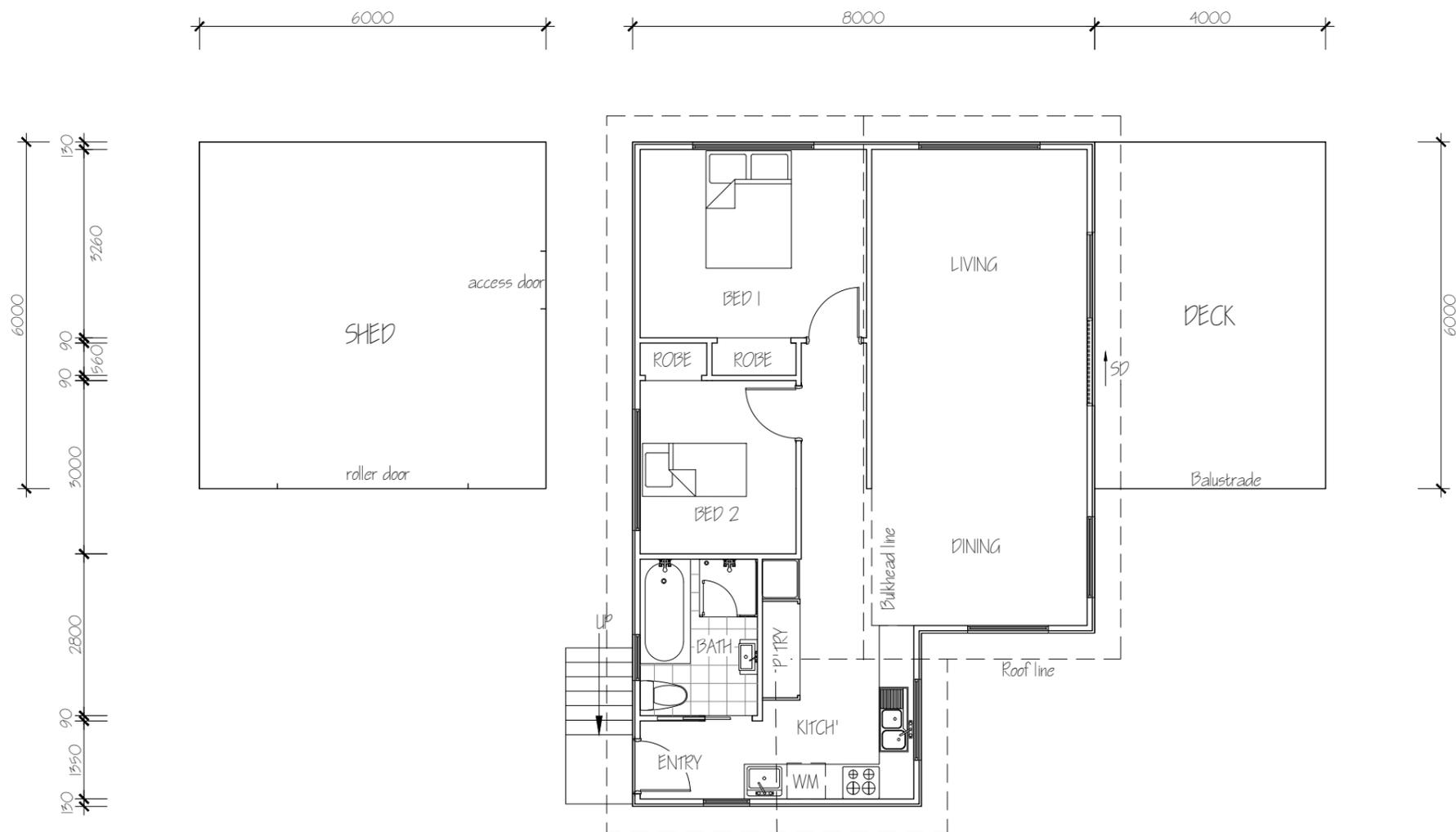
Project Name and Address  
**PROPOSED NEW DWELLING**  
 116 Blowhole Rd, Eaglehawk Neck

Drawing Title  
**PROPOSED SITE PLAN**  
 Client

DRAWING TYPE  
 Design Dev' Drawings  
 Date  
 26-Feb-26  
 Scale  
 1:200  
 Size  
 A3

PROJECT No.  
**22586**

SHEET	DD02
CHECKED	G. HILLS
DESIGN	G. HILLS
DRAWN	M. Kamankesh



PROPOSED FLOOR PLAN

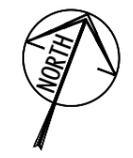
1:100



AREA:

Floor Area	= 83.0m <sup>2</sup>
Deck	= 24.0m <sup>2</sup>
Shed	= 36.0m <sup>2</sup>
<b>Total</b>	<b>= 143.0m<sup>2</sup></b>

Total Site Coverage = 20.28%



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REVISION NOTES		
No.	Revision/Issue	Date

**G.Hills&Partners ARCHITECTS**

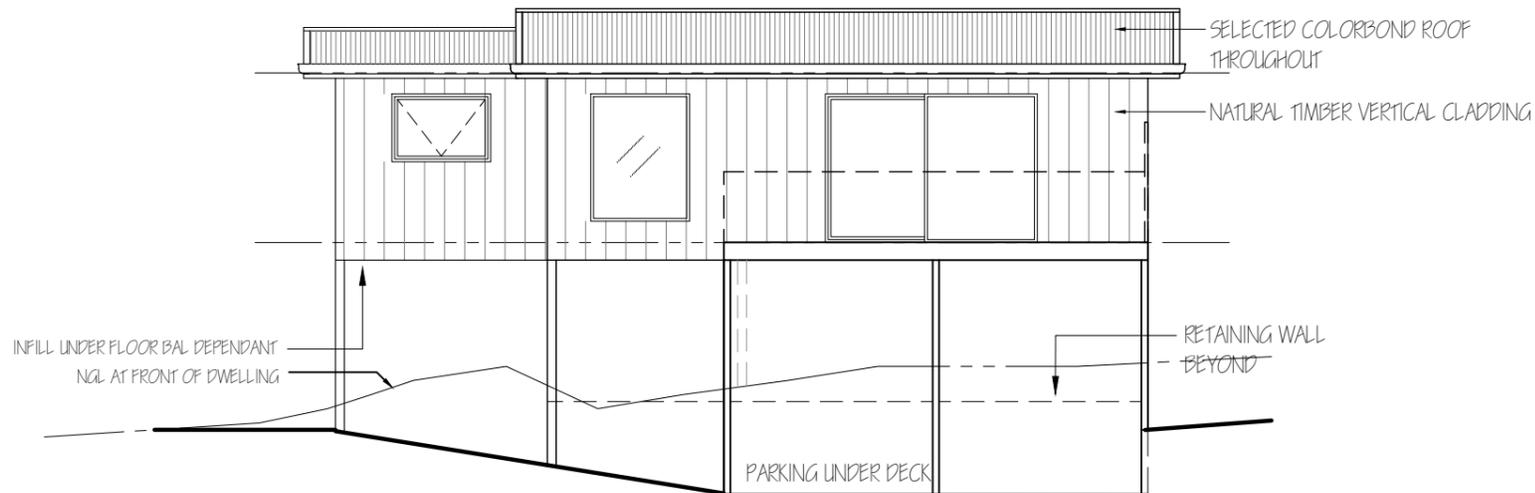
PO Box 910, KINGSTON, TAS 7051  
 P 03 6229 1799 E graham.hills@bigpond.com  
 Building Designer Accreditation No. CC2367B

Project Name and Address  
**PROPOSED NEW DWELLING**  
 116 Blowhole Rd, Eaglehawk Neck

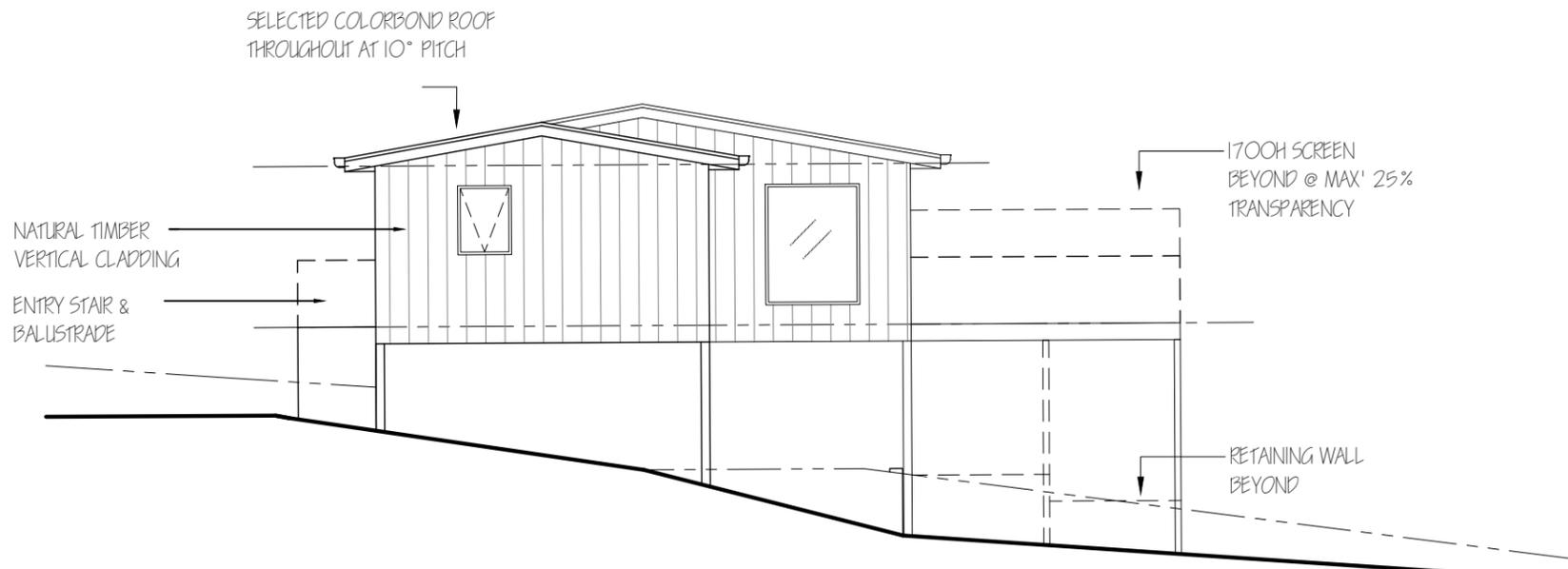
Drawing Title  
**PROPOSED FLOOR PLAN**  
 Client

DRAWING TYPE  
 Design Dev' Drawings  
 Date  
 26-Feb-26  
 Scale  
 1:100  
 Size  
 A3

PROJECT No.	<b>22586</b>
SHEET	<b>DD03</b>
CHECKED	G. HILLS
DESIGN	G. HILLS
DRAWN	M. Kamankesh



EAST ELEVATION 1:100  
 0 1 2 3 4



SOUTH ELEVATION 1:100  
 0 1 2 3 4

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REVISION NOTES		
No.	Revision/Issue	Date

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 P 03 6229 1799 E graham.hills@bigpond.com  
 Building Designer Accreditation No. CC2367B

Project Name and Address  
**PROPOSED NEW DWELLING**

116 Blowhole Rd, Eaglehawk Neck

Drawing Title  
**PROPOSED ELEVATIONS 1**

Client

DRAWING TYPE  
 Design Dev' Drawings

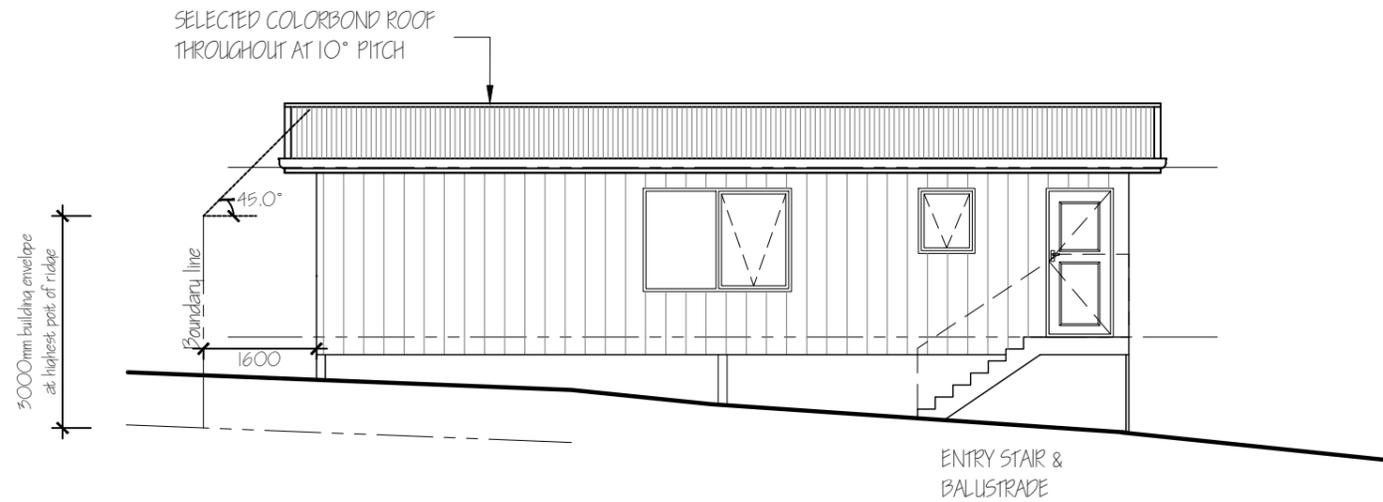
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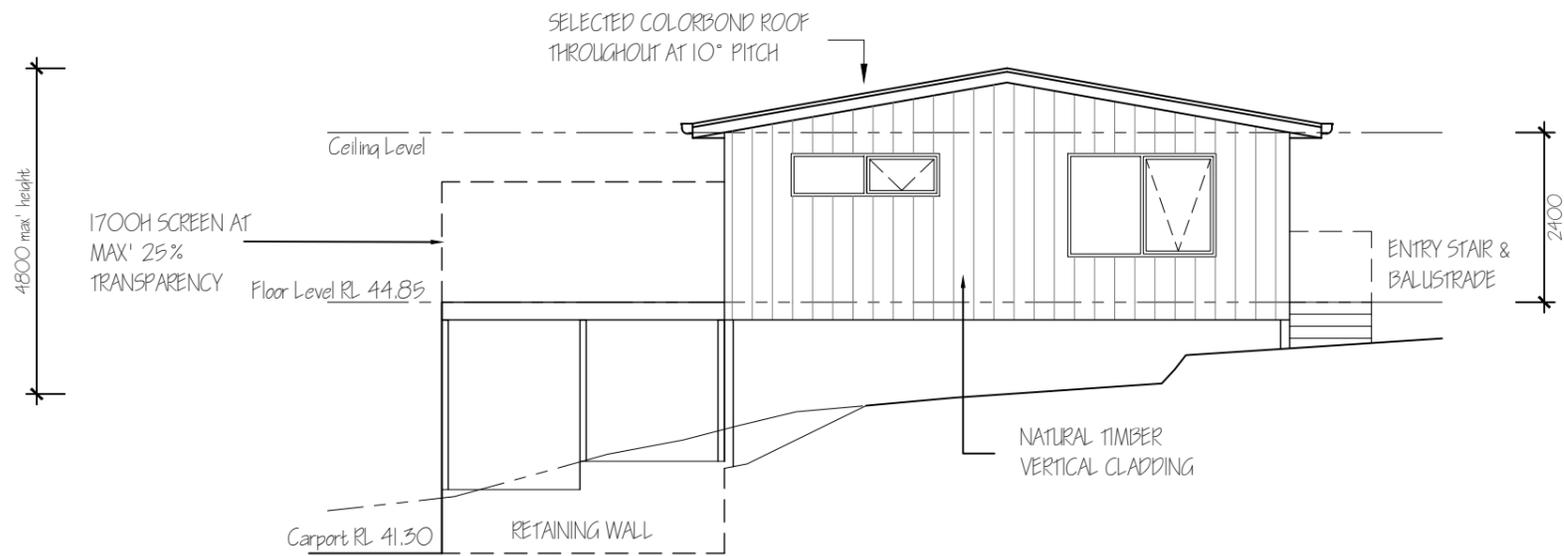
PROJECT No.  
**22586**

SHEET	DD04
CHECKED	G. HILLS
DESIGN	G. HILLS
DRAWN	Z. Hills

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WEST ELEVATION 1:100



NORTH ELEVATION 1:100

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REVISION NOTES

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Project Name and Address  
**PROPOSED NEW DWELLING**

116 Blowhole Rd, Eaglehawk Neck

Drawing Title  
**PROPOSED ELEVATIONS 2**

Client

DRAWING TYPE  
 Design Dev' Drawings

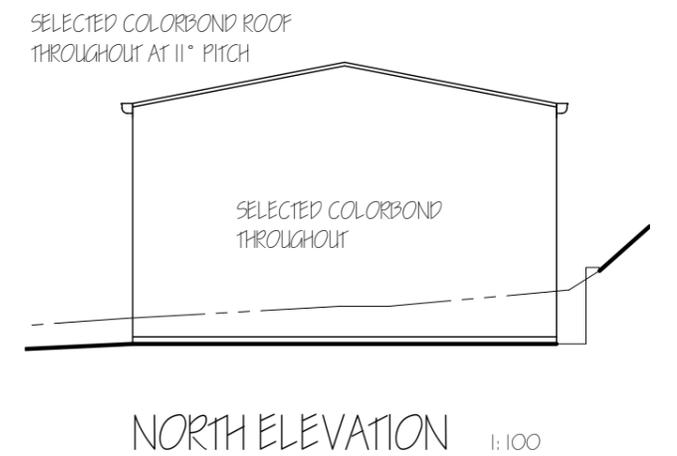
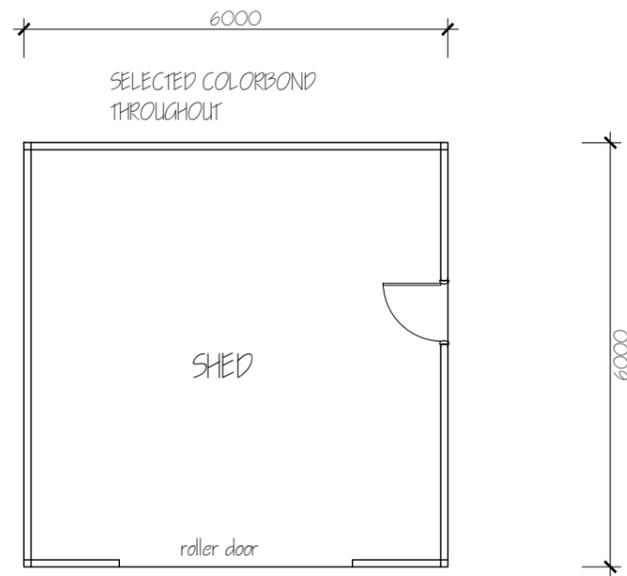
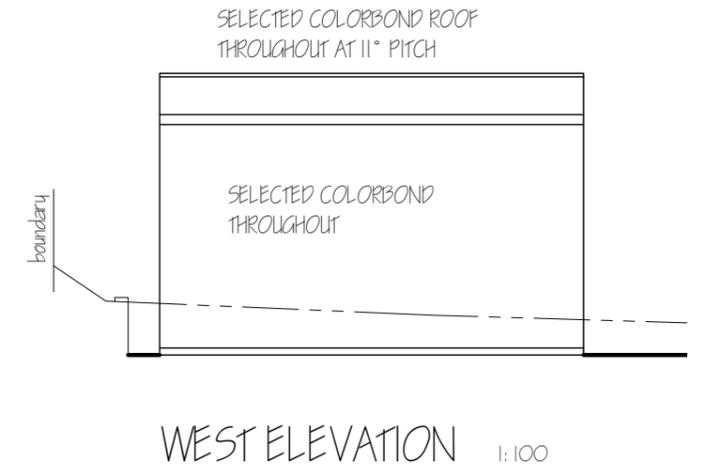
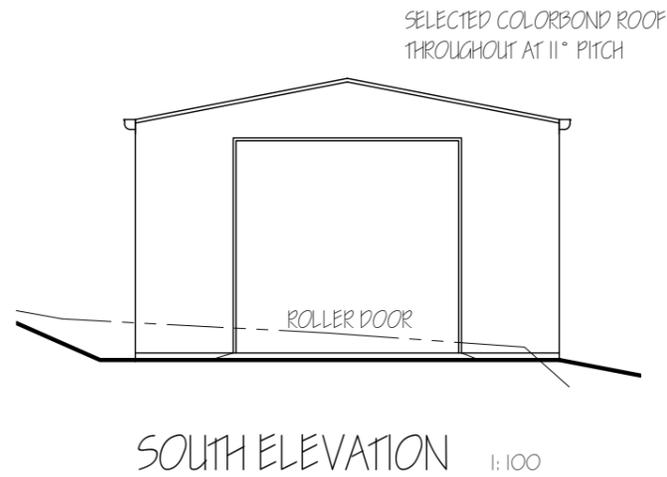
Date  
 26-Feb-26

Scale Size  
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PROJECT No.  
**22586**

SHEET	DD05
CHECKED	G. HILLS
DESIGN	G. HILLS
DRAWN	Z. Hills

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**G.Hills&Partners ARCHITECTS**

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Project Name and Address  
**PROPOSED NEW DWELLING**  
 116 Blowhole Rd, Eaglehawk Neck

Drawing Title  
**SHED PLAN AND ELEVATIONS**  
 Client

DRAWING TYPE  
 Design Dev' Drawings  
 Date  
 26-Feb-26  
 Scale  
 1:100  
 Size  
 A3

PROJECT No.	<b>22586</b>
SHEET	DD05
CHECKED	G. HILLS
DESIGN	G. HILLS
DRAWN	Z. Hills