

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval under the Land Use Planning and Approvals Act 1993, for the following development(s):

NUMBER:	DA 09 / 2026
ADDRESS:	803 Saltwater River Rd, Saltwater River (CT: 132671/3)
DESCRIPTION:	Resource Development – Workers Accommodation

All plans and documents submitted with the application can be inspected at the Tasman Council Office, Monday to Friday from 8:30am to 4:30pm. In addition to the statutory requirements, some documents, relevant to the assessment of the application are available on the council website by following this link:

<https://tasman.tas.gov.au/advertised-applications/>, by using the QR Code below, or they are available in hard copy upon request by calling Council on (03) 6250 9200 or email tasman@tasman.tas.gov.au during the period for which representations may be made, until **12 March 2026**.

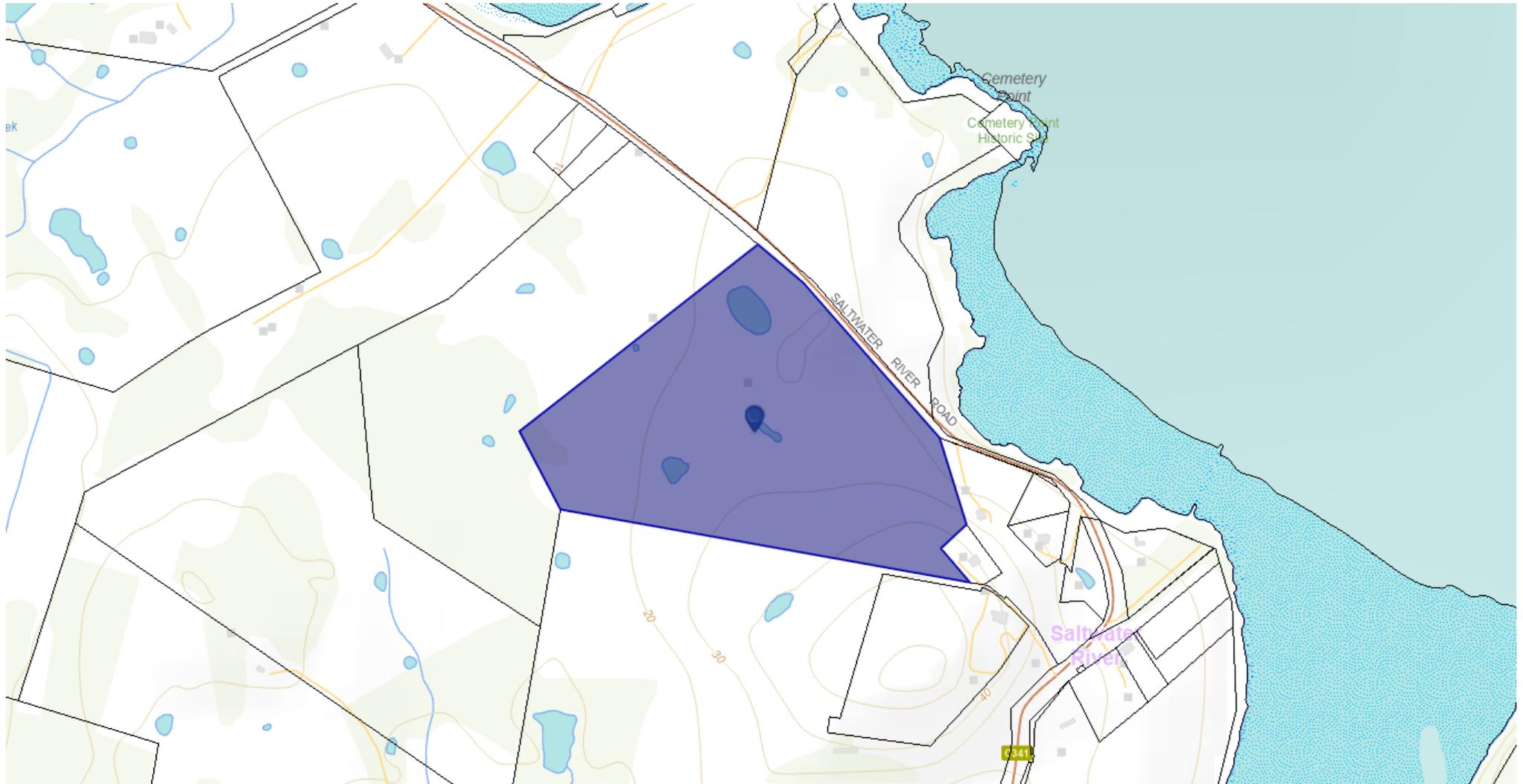
Any person may make a representation relating to the application. Representations are to be made in writing addressed to the General Manager, Tasman Council, 1713 Main Road, Nubeena TAS 7184 or by email to tasman@tasman.tas.gov.au and will be received no later than **12 March 2026**. Late representations will not be considered.



Blake Repine
General Manager
Date: 26 February 2026

DA 09 / 2026, 803 Saltwater River Rd, Saltwater River (CT 132671/3) – The relevant plans and documents can be inspected at the Council Offices at 1713 Main Road, Nubeena during normal office hours, or the plans may be viewed on Council’s website at www.tasman.tas.gov.au until the date representations close 12 March 2026.

The below image was sourced from The List: <https://maps.thelist.tas.gov.au/listmap/app/list/map>



Application for Planning Permit

The personal information requested on this form is being collected by council for purpose set out in the title of the form. The personal information will be used solely by council for the primary purpose or directly related purposes. The applicant understands that personal information is provided for the above mentioned function and that he/she may apply to council for access to and/or amendment of the information. If an application is made under Section 57 of the Land Use Planning and Approvals Act 1993, a copy of the lodgement documents must be made available for any person to inspect during public notification. Please note that any information, reports and plans submitted with an application are treated as public documents and may be reproduced for representatives, referral authorities and any other persons/bodies interested in the proposal. Requests for access or correction should be made to Tasman Council's Customer Service Officer.

* Indicates mandatory field

APPLICANT DETAILS*

FULL NAME	Timothy Charles Sidebottom		
POSTAL ADDRESS		POSTCODE	
PHONE (BUSINESS HOURS)		MOBILE:	
EMAIL			

NOTE: All Council correspondence will be emailed to the applicant unless otherwise specified.

OWNERS DETAILS (IF DIFFERENT TO APPLICANT DETAILS)*

ENSURE OWNER DETAILS MATCH THE CURRENT CERTIFICATE OF TITLE

FULL NAME			
POSTAL ADDRESS		POSTCODE	
PHONE (BUSINESS HOURS)		MOBILE	0403 301 859

DESCRIPTION OF PROPOSED DEVELOPMENT*

<input type="checkbox"/> New Dwelling	<input type="checkbox"/> Extension/ Addition	Resource Development - Worker Accommodation
<input type="checkbox"/> New Shed/ Outbuilding	<input type="checkbox"/> Demolition	
<input type="checkbox"/> Subdivision/ Boundary Adjustment	<input type="checkbox"/> Visitor Accommodation	
<input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Other (please specify – right)	
<input type="checkbox"/> Commercial/ Industrial Building		

Are any of the components in this application seeking retrospective approval?* E.g. Use and/or development that has commenced without a planning permit. (If yes, please specify the relevant components)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
_____ _____	

PRESENT USE OF LAND/ BUILDING(S)*
Agriculture
_____ _____

LOCATION OF PROPOSED DEVELOPMENT*

ADDRESS	803 Saltwater River Rd, Saltwater River,		
CERTIFICATE OF TITLE: FOLIO NUMBER	132671	LOT NUMBER	3

FLOOR AREA*	
Existing floor area (square metres):	N/A
Proposed floor area (square metres):	N/A
CAR PARKING*	
Number existing	N/A
Number proposed	2

SITE CONTAMINATION*	
Have any potentially contaminating uses been undertaken on this site? (Refer to list provided on page 5)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
TASMANIAN HERITAGE OR ABORIGINAL HERITAGE REGISTER*	
Is this property on the Tasmanian Heritage or Aboriginal Heritage Register?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
VEGETATION REMOVAL*	
Does the proposal require any vegetation removal? If yes, provide details on the site plan.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
VALUE*	
Value of work (inc. GST)	\$ 350K

Please complete both declarations if you are making the application but not the owner

DECLARATION BY APPLICANT*

<p>I/ we declare that the information given is a true and accurate representation of the proposed development; and I/ we am/ are liable for the payment of Council application processing fees, even in the event of the development not proceeding; and I/ we authorise Tasman Council to provide a copy of my documents relating to this application to any person for the purpose of assessment and public consultation and agree to arrange for the permission of the copyright owner of any part of this application to be obtained.</p>	
SIGNATURE OF APPLICANT	
NAME OF APPLICANT (PLEASE PRINT)	Tim Sidebottom
DATE	21.11.25

DECLARATION IF APPLICANT IS NOT THE OWNER

<p>I hereby declare that I am the applicant for the development at the address detailed in this application for a planning permit, and that I have notified the owner/s of the land for which I am making this application, in accordance with Section 52(1a) of the <i>Land Use Planning and Approvals Act 1993</i>.</p>	
SIGNATURE OF APPLICANT	
NAME OF APPLICANT (PLEASE PRINT)	Tim Sidebottom
DATE	21.11.25
NAME/S OF OWNER/S NOTIFIED	
DATE	26.11.25

DECLARATION IF LAND IS COUNCIL OR CROWN LAND

If the land that is the subject of this application is owned or administered by either the Crown or Tasman Council, the consent of the Minister of the Crown or the General Manager of the Council, whichever is applicable, must be included here. This consent should be completed and signed by either the Minister, the General Manager of Tasman Council, or their delegate (as specified in Subsections 52(1d-1g) of the <i>Land Use Planning and Approvals Act 1993</i>).	
DECLARATION	I, _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application.
SIGNATURE OF MINISTER/ GENERAL MANAGER	
DATE	

NON-RESIDENTIAL DEVELOPMENTS

Note: This section must be completed for all applications for non-residential uses, home occupations and domestic/ residential businesses or other managed/ commercial residential uses (e.g. hostel or motel).

HOURS OF BUSINESS			
CURRENT		PROPOSED	
Monday to Friday	24Hrs/Day	Monday to Friday	24Hrs/Day
Saturday	24Hrs/Day	Saturday	24Hrs/Day
Sunday	24Hrs/Day	Sunday	24Hrs/Day
NUMBER OF EMPLOYEES			
CURRENT		PROPOSED	
Total Employees	2-8 (season dependant)	Total Employees	2-8 (season dependant)
Employees on Site	0	Employees on Site	1-2
PLANT/ MACHINERY			
Is there any large plant or machinery that would need to be installed or used on site such as refrigeration units and generators? (If yes, please list below the type of machinery and ensure location, dimensions etc are clearly marked on your plans.)			<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
OUTDOOR STORAGE/ SEATING/ NUMBER OF BEDS			
Is outdoor storage proposed? (If yes, please ensure that your plans show where the outdoor storage areas are and what type of goods are stored. This information will help us assess the impact of the proposal on the amenity.)			<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If you are proposing a night club, café or the like, what is the number of seats proposed including the capacity at any bar area?	N/A	Please ensure that the arrangements are shown on your plans. This information enables us to assess the car parking arrangements.	
If you are proposing a hotel, motel, visitor accommodation, hostel or the like, what is the number of beds proposed?	N/A	Please ensure the beds are clearly indicated on your plans. This information enables us to assess the car parking arrangements.	
GOODS DELIVERIES			
Will there be any goods deliveries to and from the site? (If yes, please estimate the number and type of vehicles and how often they will make trips.)			<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Type and Size of Vehicle	Utes & 4WD	Number of Vehicles on Site	2-3
Trip Frequency per Month	4-6		

PLANNING PERMIT – APPLICATION CHECKLIST – MANDATORY

To ensure that we can process your application as quickly as possible, please read the following checklist carefully to ensure that you have provided the following at the time of lodging the application.

If you are unclear on any aspect of your application, please phone **(03) 6250 9200** to discuss or arrange an appointment concerning your proposal. Note that, in accordance with Section 54 of the *Land Use Planning and Approvals Act 1993*, Council may require additional information.

Please note that the following information is required by Clause 6.1 of the State Planning Provisions. An application will not be considered to be a valid application and will not be processed without the required information as detailed below.

Please complete the below checklist

Completed Application Form - Required

All sections filled out correctly and owner details match those listed on the title documents
Application form includes a detailed cost estimate of the proposal

Written Submission - Required

Description of the proposed development
Justification addressing the Performance Criteria (if applicable)

Title Documents - Required

Current copy of the Certificate of Title (Folio Plan and Text Page)
Copies of any restrictive covenants, easements, or other relevant documents.

Site Plan - Required

Drawn to scale
Shows the location of the proposed development including setback distances from boundaries
Includes existing structures, property boundaries, access points, driveways, parking areas, rainwater tanks and any natural features (vegetation and waterways)

Floor Plan and Elevations - Required

Detailed floor plans of the proposed development
Elevations showing the height and external appearance

Stormwater and Servicing Plan - Required

Details on how stormwater will be managed on-site
Information about connections to utilities (water, sewer, electricity)
Elevations showing the height and external appearance of all water tanks

Landscaping Plan - if applicable

Details of existing vegetation to be retained or removed

Supporting Reports and Assessments - if applicable

Bushfire Hazard Management Plan and Report
Traffic Impact Assessment
Natural Values Assessment
Onsite Wastewater Assessment

Dated: **21.11.25**

Signed:



Please note the following:

Application fees will be invoiced upon initial assessment, this is within 4 business days of submission.
If this application results in building works occurring on the property, applicant and/or owner information including name and contact details will be provided to the Office of the Valuer General for the purpose of undertaking a valuation inspection of the property / building works.

POTENTIALLY CONTAMINATING ACTIVITIES	
Agricultural Fertiliser Manufacture	Metal Founders
Asbestos Production and Manufacture	Metal Sprayers
Battery Manufacture and Recycling	Metal Treatments and Picklers
Chemical Manufacture or Formation	Mining and Extractive Industries
Defence Establishments and Training Areas	Pest Controllers (being areas where pest control chemicals are stored or vehicles and tanks used in connection with pest control are washed.)
Drum Reconditioning Wastes	Petroleum and Petrochemical Industries
Dry Cleaning Establishments	Pharmaceutical Manufacture or Formation
Electroplating	Printers
Explosives Production and Storage	Railway Yards
Fuel Depots and Storage Areas	Sanitary and Refining
Galvanisers	Scrap Yards
Gas Works	Service Stations
Gun, Pistol and Rifle Clubs	Smelting and Refining
Hazardous Waste Landfills	Tannery or Fellmongery or Hide Curing Works
Industrial Cleaners	Wood Treatment and Preservation Sites
Lime Burners	

SEARCH OF TORRENS TITLE

VOLUME 132671	FOLIO 3
EDITION 3	DATE OF ISSUE 15-Sep-2023

SEARCH DATE : 13-Nov-2025

SEARCH TIME : 01.59 PM

DESCRIPTION OF LAND

Parish of TOGANEE, Land District of PEMBROKE
 Lot 3 on Sealed Plan [132671](#)
 Derivation : Part of Lot 32859 Gtd to S.E. Bresnehan, Part of
 Lots 6984 & 6985 Gtd to J. Burden
 Prior CT [113443/4](#)

SCHEDULE 1

C526880 & [N111908](#) TRANSFER to
 Registered 15-Sep-2023 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP [37324](#) COVENANTS in Schedule of Easements
 SP[37324](#),SP[104825](#),SP[113443](#) & SP[132671](#) FENCING COVENANT in
 Schedule of Easements
 SP [132671](#) EASEMENTS in Schedule of Easements
 SP[113443](#) SEPTIC TANK NOTIFICATION

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SCHEDULE OF EASEMENTS	REGISTERED NUMBER
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 132671

PAGE 1 OF² PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

LOT 1 is subject to a right of carriageway (pertinent to Lot 1 on sealed plan 4106) over the right of way shown "Right of Way B" hereon the plan.

LOT 1 is subject to a right of carriageway (pertinent to Lot 1 on sealed plan 7299) over the right of way marked "Right of Way "A" hereon the plan.

LOT 1 is subject to a right of carriageway (pertinent to the lands in sealed plan 34019) over the right of way (private) marked "X" on the plan.

LOT 1 is subject to a right of carriageway (pertinent to the land in sealed plan 7299) over the right of way (private) marked "W" on the plan.

LOT 2 is together with a right of carriageway over the right of way (private) marked on "X" on the plan.

Fencing Covenant.

The owners of Lots 1 and 2 on the plan covenant with the Vendor (Anne Roslyn Hull) that the Vendor shall not be required to fence.

SIGNED BY Anne Roslyn Hull,
the registered proprietor of the lands
in CT Volume 113443 Folio 4
in the presence of:

A. R. Hull

R. Pickard

MUNDOCUM CARGO 2900

(USE ANNEXURE PAGES FOR CONTINUATION)

N.S.H.

<p>SUBDIVIDER: John Edward Hull and Anne Roslyn Hull (C/T 37323/3) Mary Carlin Briggs (C/T 34019/1) and Anne Roslyn Hull (C/T 113443/4)</p> <p>FOLIO REF: Volume 37323 Folio 3, Volume 34019 Folio 1, Volume 113443 Folio 4</p> <p>SOLICITOR & REFERENCE: Gunson Pickard & Hann (D W Hann - 111,374)</p>	<p>PLAN SEALED BY: Tasman Council, Nubeena</p> <p>DATE: <i>13 Sept</i> June 1999</p> <p>SD 2/99 REF NO.</p> <p style="text-align: center;"><i>G. D. Burgess</i> Council Delegate General Manager</p>
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NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF PAGE/S</p>	<p>Registered Number</p> <p>SP 132671</p>
<p>SUBDIVIDER: John Edward Hull and Anne Roslyn Hull (C/T 37323/3) Mary Carlin Briggs (C/T 34019/1) and Anne Roslyn Hull (C/T 113443/4)</p> <p>FOLIO REFERENCE: Volume 37323 Folio 3, Volume 34019 Folio 1, Volume 113443 Folio 4</p>	

SIGNED BY John Edward Hull
and Anne Roslyn Hull the registered
proprietors of the lands comprised
in CT Volume 37323 Folio 3
in the presence of:

J. E. Hull
A. R. Hull
[Witness Signature]

SIGNED BY Mary Carlin Briggs
the registered proprietor of the lands
comprised in CT Volume 34019 Folio 1
in the presence of:

MUNDOONAH CARGO N.S.W
2800.

[Witness Signature]
[Witness Signature]
[Witness Signature]
Mary Carlin Briggs

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



**Tim
Sidebottom
Architect**

**803 Saltwater River Rd
Workers Cottage**



**Tim
Sidebottom
Architect**

**803 Saltwater River Rd
Workers Cottage**



SITE PLAN

Tim Sidebottom Architect.

39 Ferguson Avenue,
Tinderbox, 7054
Ph: 0409 183 342
info@timsidebottom.com

Drawings to be read in conjunction with specification by architect and all drawings and documents by engineers and sub consultants referred to in these plans. Contractors are to verify all dimensions on site before commencing any work or producing shop drawings. Larger scale drawings and written dimensions take preference. Do not scale from drawings. These drawings are protected by the laws of copyright and may not be copied or reproduced without the written permission of the architect. All discrepancies are to be brought to the attention of the architect.

Project No:
TP25-03

Project Name:
Saltwater River Workers Cottage
Project Address:
803 Saltwater River Rd, 7188
Client:

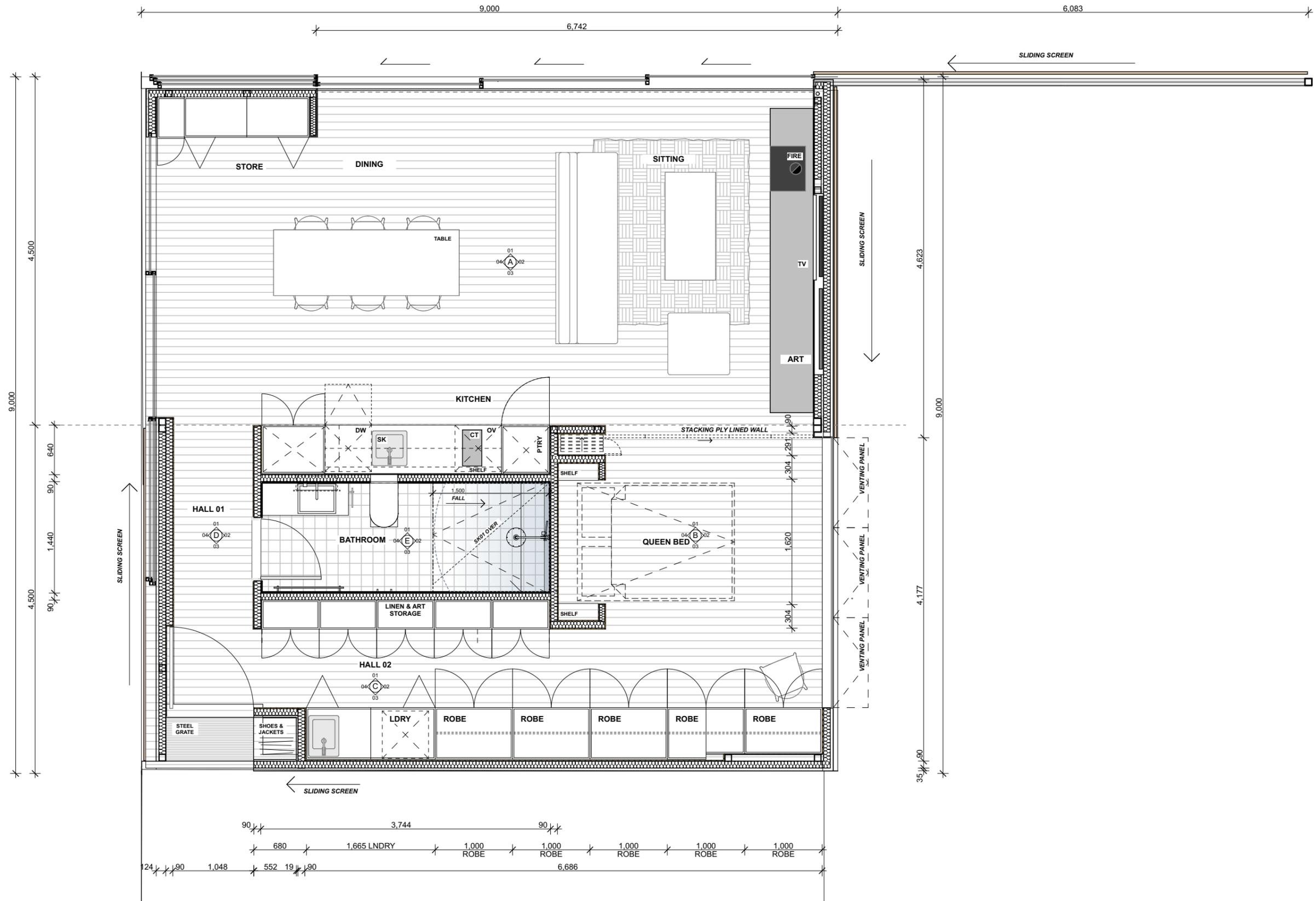
Issue ID	Issue Name	Issue Date	Issue ID	Issue Name	Issue Date	Issue ID	Issue Name	Issue Date
A	CONCEPT DESIGN	29/04/2025	F	DESIGN DEVELOPMENT 9x9 CONCEPT	05/09/2025			
B	CONCEPT DESIGN	01/05/2025	G	DESIGN DEVELOPMENT 9x9 CONCEPT	12/09/2025			
C	CONCEPT DESIGN	09/05/2025	H	STRUCTURAL SECTION & ELEVATION REVS.	24/10/2025			
D	CONCEPT DESIGN	20/05/2025	I	DEVELOPMENT APPLICATION	21/11/2025			
E	CONCEPT DESIGN	14/06/2025	J	SITE PLAN & INTERNAL ELEVATIONS	10/01/2025			



Scale: As Shown @ A3
Date: 15/1/2026
Drawn By: TS
Status: Design Development

Drawing No: **SK0.104**
Revision: J





PRELIMINARY NOT FOR CONSTRUCTION
GROUND FLOOR PLAN

Tim Sidebottom Architect.
 39 Fergusson Avenue,
 Tinderbox, 7054
 Ph: 0409 183 342
 info@timsidebottom.com

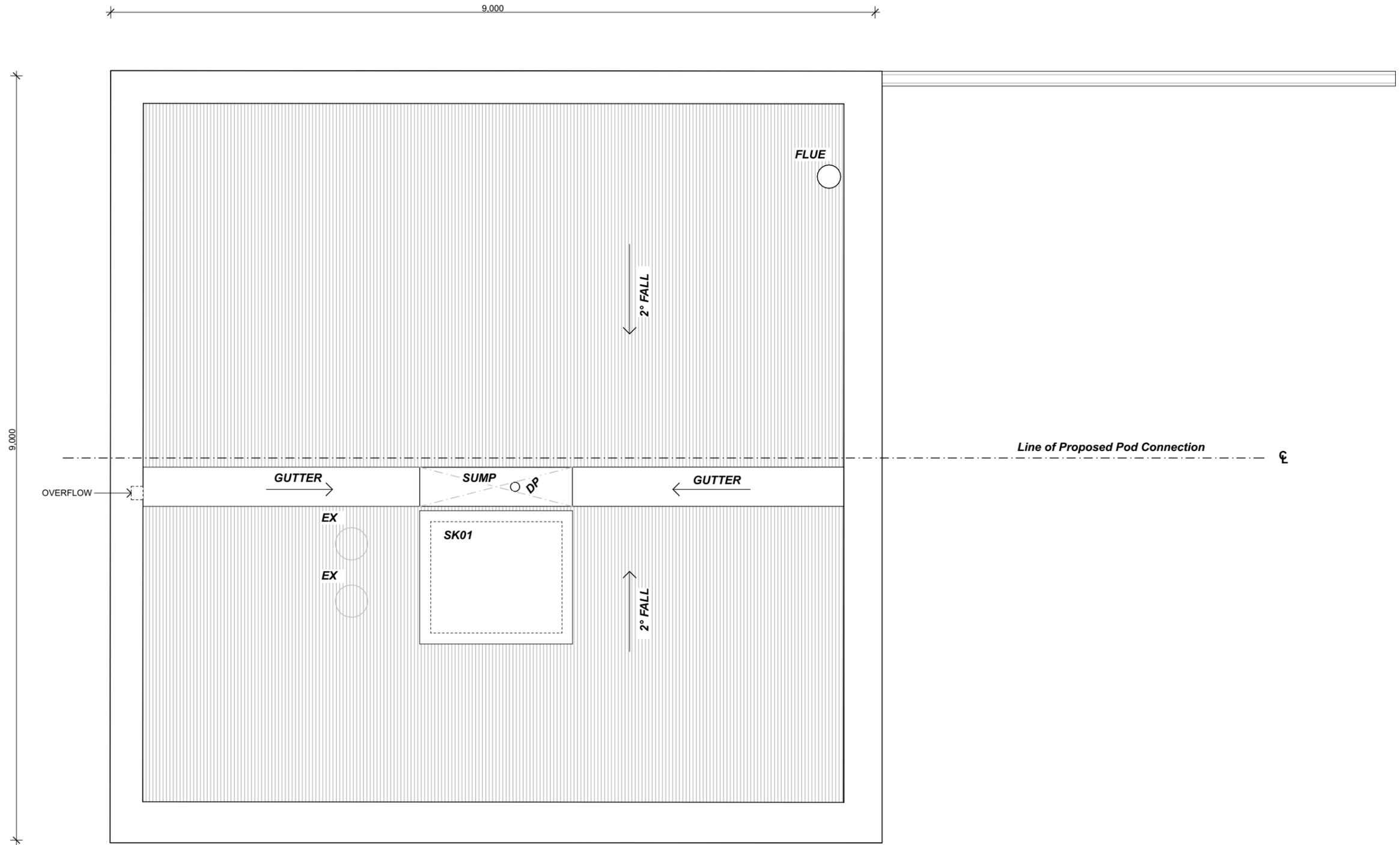
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Scale:	As Shown @ A3	Drawing No.:	SK1.100	Revision:	J
Date:	15/1/2026	Drawn By:	TS		
Status:	Design Development				



PRELIMINARY NOT FOR CONSTRUCTION
ROOF PLAN

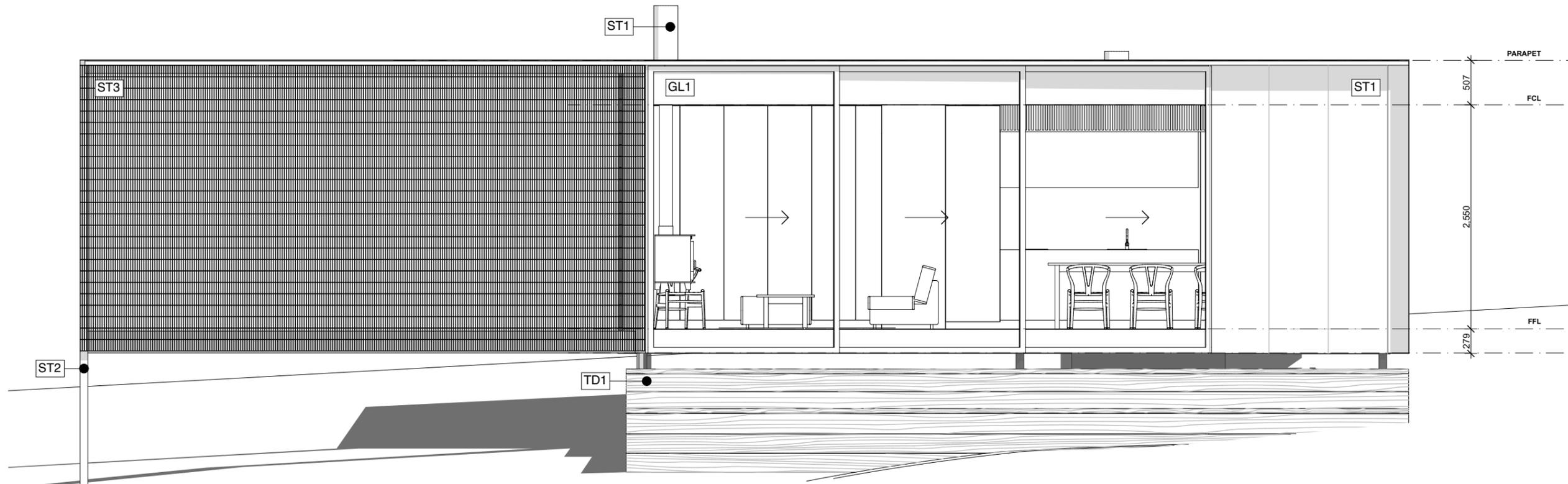
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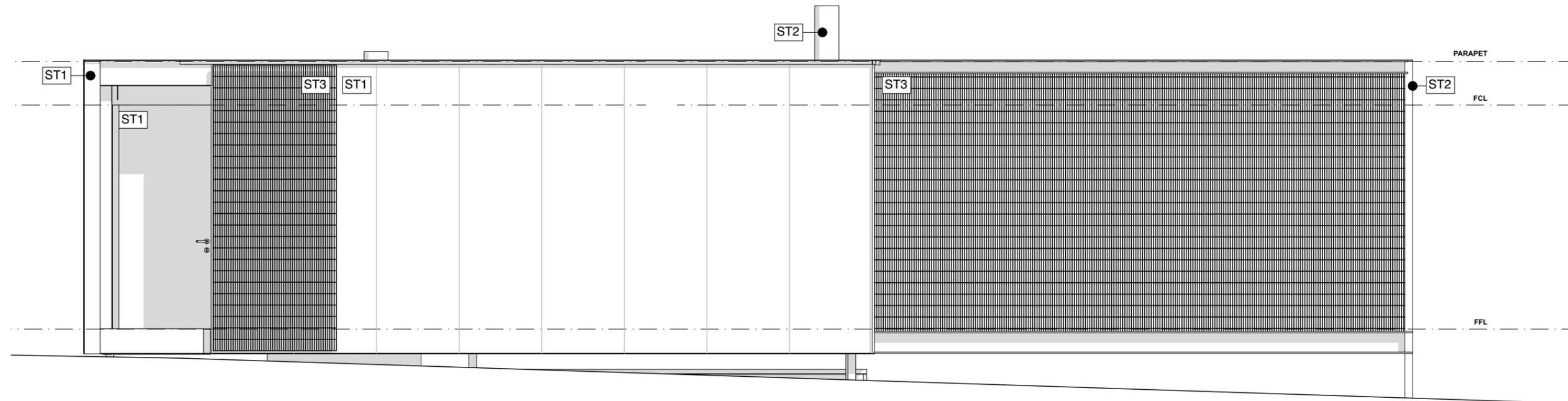
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Date: 15/1/2026		
Drawn By: TS		
Status: Design Development		



NORTH ELEVATION - OPEN

1:100



SOUTH ELEVATION - OPEN

1:100

MATERIAL LEGEND

ID	NAME
ST1	Rusted Corten Steel Cladding
ST2	Mild Steel Structure
ST3	Rusted Mild Steel Weld Mesh
GL1	Glazing
TD1	Timber Decking

ELEVATIONS NS - OPEN MODEL

Scale:	As Shown @ A3	Drawing No.:	Revision:
Date:	15/1/2026	SK2.106	J
Drawn By:	TS		
Status:	Design Development		

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 39 Ferguson Avenue,
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 Ph: 0409 183 342
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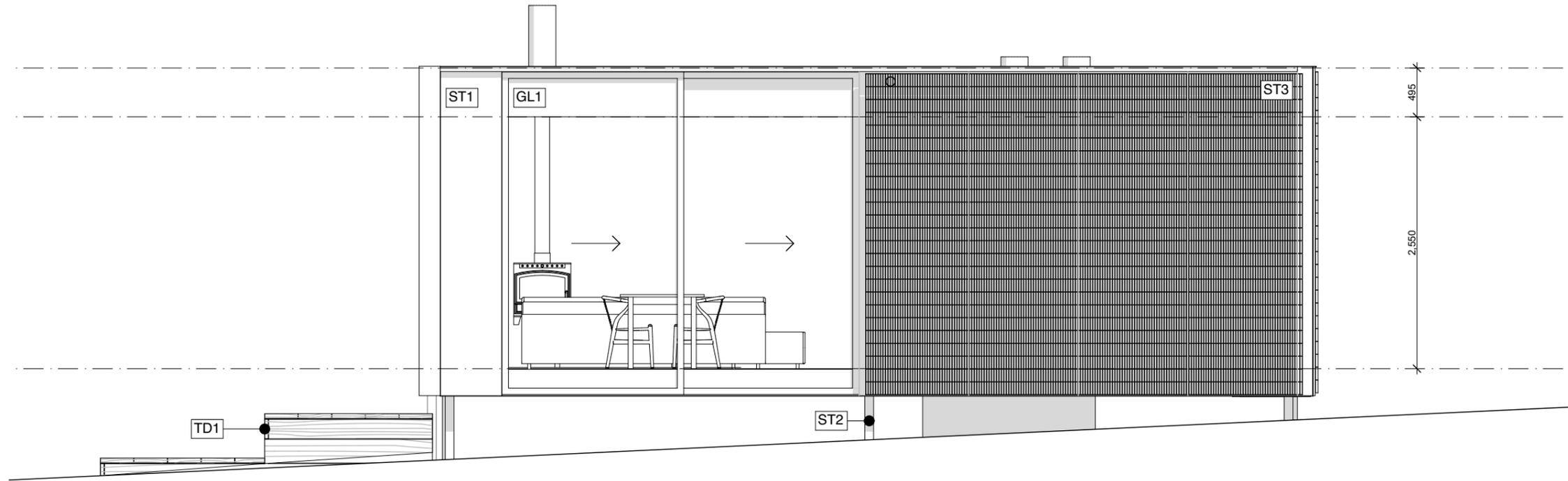
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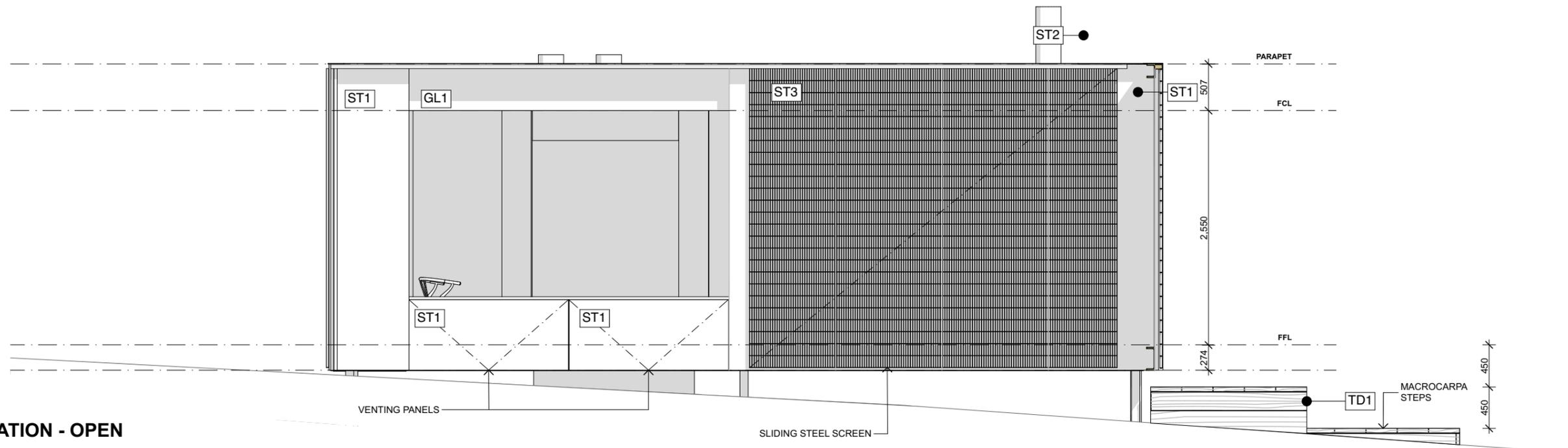
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WEST ELEVATION - OPEN

1:100



EAST ELEVATION - OPEN

1:100

ELEVATIONS EW - OPEN MODEL

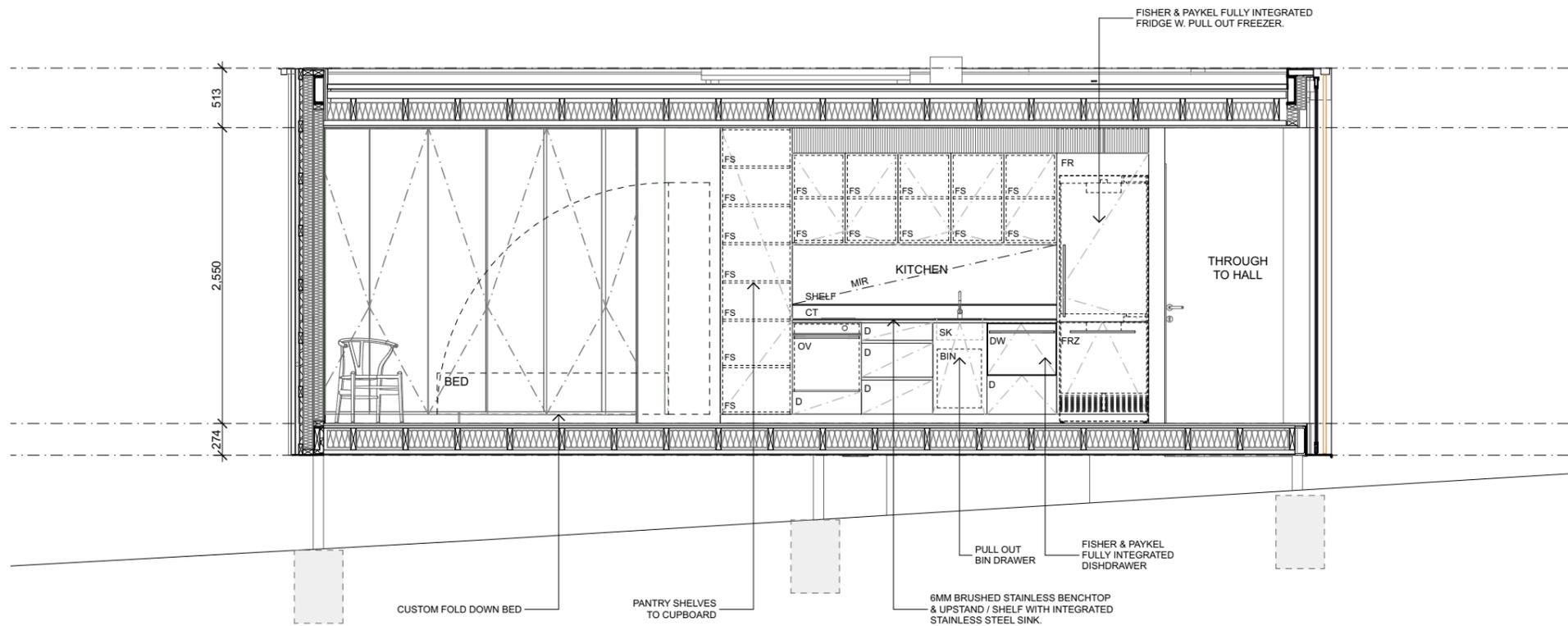
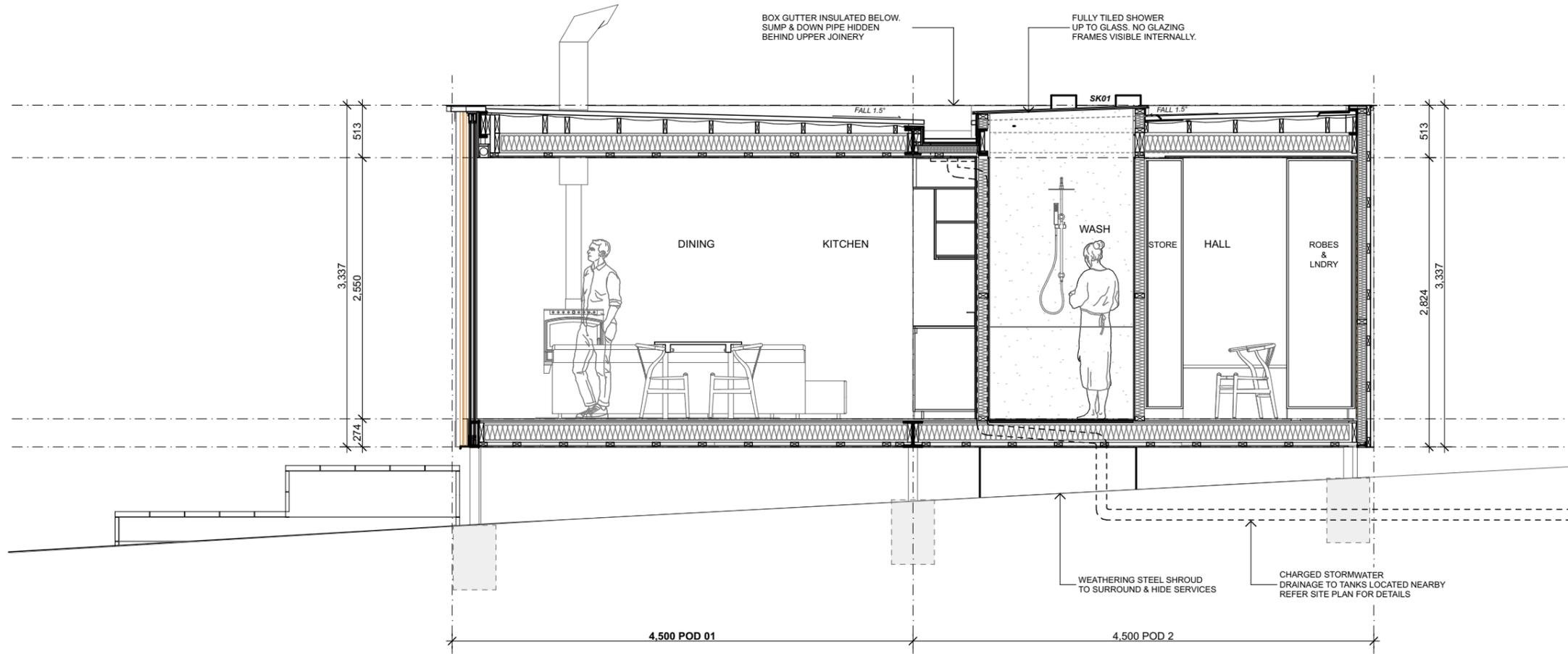
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SECTIONS

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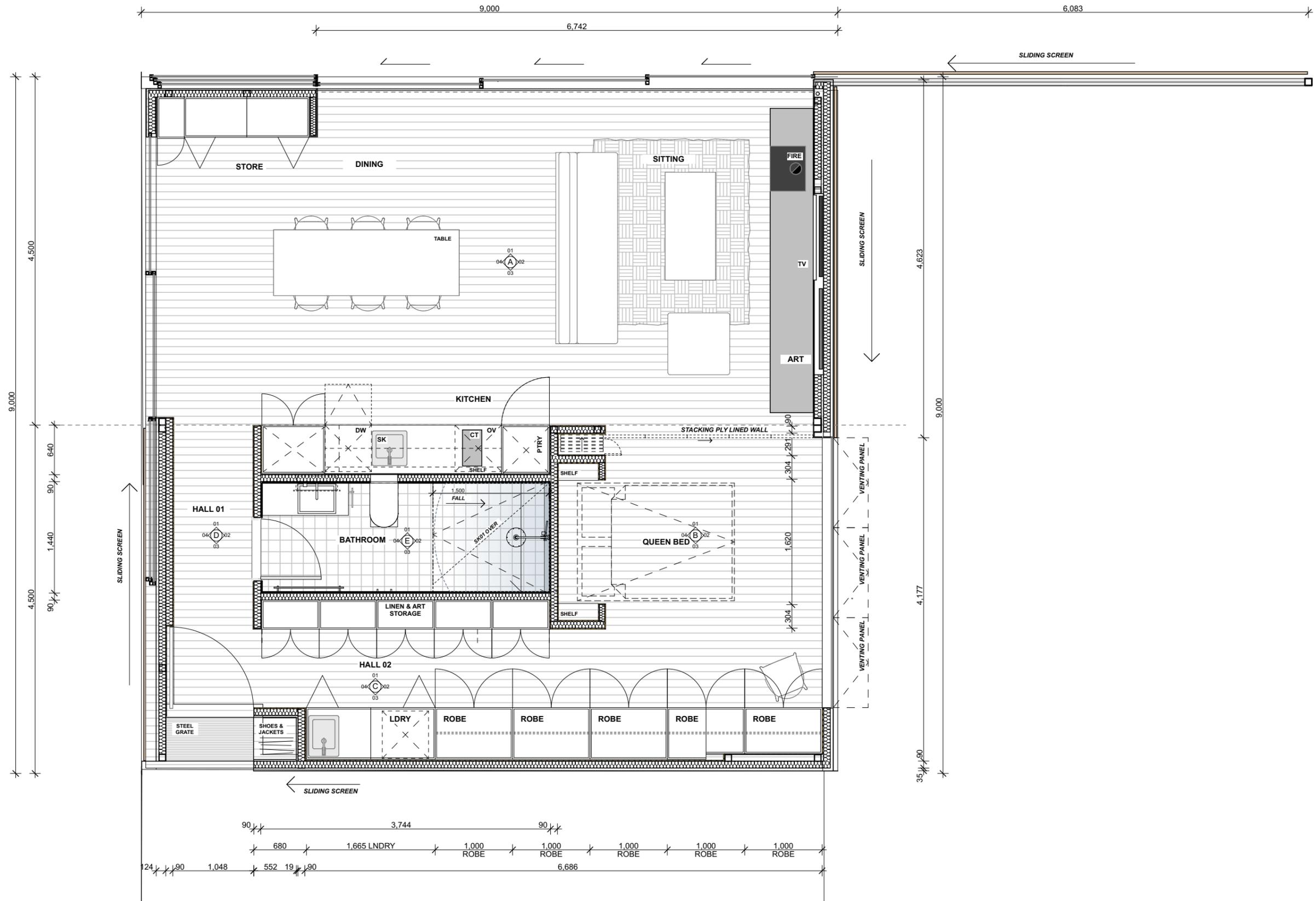
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803 Saltwater River Rd, 7188
Client:

Issue ID	Issue Name	Issue Date	Issue ID	Issue Name	Issue Date	Issue ID	Issue Name	Issue Date
A	CONCEPT DESIGN	29/04/2025	F	DESIGN DEVELOPMENT 9x9 CONCEPT	05/09/2025			
B	CONCEPT DESIGN	01/05/2025	G	DESIGN DEVELOPMENT 9x9 CONCEPT	12/09/2025			
C	CONCEPT DESIGN	09/05/2025	H	STRUCTURAL SECTION & ELEVATION REVS.	24/10/2025			
D	CONCEPT DESIGN	20/05/2025	I	DEVELOPMENT APPLICATION	21/11/2025			
E	CONCEPT DESIGN	14/06/2025	J	SITE PLAN & INTERNAL ELEVATIONS	10/01/2025			

Scale: As Shown @ A3
Date: 15/1/2026
Drawn By: TS
Status: Design Development

Drawing No.: SK3.100
Revision: J



GROUND FLOOR PLAN - EXTG
1:50

INTERNAL ELEVATION PLAN_50

Tim Sidebottom
Architect.

39 Ferguson Avenue,
Tinderbox, 7054
Ph: 0409 183 342
info@timsidebottom.com

Drawings to be read in conjunction with specification by architect and all drawings and documents by engineers and sub consultants referred to in these plans. Contractors are to verify all dimensions on site before commencing any work or producing shop drawings. Larger scale drawings and written dimensions take preference. Do not scale from drawings. These drawings are protected by the laws of copyright and may not be copied or reproduced without the written permission of the architect. All discrepancies are to be brought to the attention of the architect.

Project No:
TP25-03

Project Name:
Saltwater River Workers Cottage
Project Address:
903 Saltwater River Rd, 7186
Client:

Issue ID	Issue Name	Issue Date	Issue ID	Issue Name	Issue Date	Issue ID	Issue Name	Issue Date
A	CONCEPT DESIGN	29/04/2025	F	DESIGN DEVELOPMENT 9x9 CONCEPT	05/09/2025			
B	CONCEPT DESIGN	01/05/2025	G	DESIGN DEVELOPMENT 9x9 CONCEPT	12/09/2025			
C	CONCEPT DESIGN	09/05/2025	H	STRUCTURAL SECTION & ELEVATION REVS.	24/10/2025			
D	CONCEPT DESIGN	20/05/2025	I	DEVELOPMENT APPLICATION	21/11/2025			
E	CONCEPT DESIGN	14/06/2025	J	SITE PLAN & INTERNAL ELEVATIONS	10/01/2025			



Scale: As Shown @ A3
Date: 15/1/2026
Drawn By: TS
Status: Design Development

Drawing No.: **A5.100**
Revision: J



PERSPECTIVES

Tim Sidebottom Architect.
 39 Fergusson Avenue,
 Tinderbox, 7054
 Ph: 0409 183 342
 info@timsidebottom.com

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Project No:
 TP25-03
Project Name:
 Saltwater River Workers Cottage
Project Address:
 803 Saltwater River Rd, 7188
Client:

Issue ID	Issue Name	Issue Date	Issue ID	Issue Name	Issue Date	Issue ID	Issue Name	Issue Date
A	CONCEPT DESIGN	29/04/2025	F	DESIGN DEVELOPMENT 9x9 CONCEPT	05/09/2025			
B	CONCEPT DESIGN	01/05/2025	G	DESIGN DEVELOPMENT 9x9 CONCEPT	12/09/2025			
C	CONCEPT DESIGN	09/05/2025	H	STRUCTURAL SECTION & ELEVATION REVS.	24/10/2025			
D	CONCEPT DESIGN	20/05/2025	I	DEVELOPMENT APPLICATION	21/11/2025			
E	CONCEPT DESIGN	14/06/2025	J	SITE PLAN & INTERNAL ELEVATIONS	10/01/2025			

Scale: As Shown @ A3	Drawing No.: SK8.100	Revision: J
Date: 15/1/2026		
Drawn By: TS		
Status: Design Development		



PERSPECTIVES

Tim Sidebottom Architect.
 39 Fergusson Avenue,
 Tinderbox, 7054
 Ph: 0409 183 342
 info@timsidebottom.com

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Project No:
 TP25-03
Project Name:
 Saltwater River Workers Cottage
Project Address:
 803 Saltwater River Rd, 7188
Client:

Issue ID	Issue Name	Issue Date	Issue ID	Issue Name	Issue Date	Issue ID	Issue Name	Issue Date
A	CONCEPT DESIGN	29/04/2025	F	DESIGN DEVELOPMENT 9x9 CONCEPT	05/09/2025			
B	CONCEPT DESIGN	01/05/2025	G	DESIGN DEVELOPMENT 9x9 CONCEPT	12/09/2025			
C	CONCEPT DESIGN	09/05/2025	H	STRUCTURAL SECTION & ELEVATION REVS.	24/10/2025			
D	CONCEPT DESIGN	20/05/2025	I	DEVELOPMENT APPLICATION	21/11/2025			
E	CONCEPT DESIGN	14/06/2025	J	SITE PLAN & INTERNAL ELEVATIONS	10/01/2025			

Scale: As Shown @ A3	Drawing No.: SK8.101	Revision: J
Date: 15/1/2026		
Drawn By: TS		
Status: Design Development		



PERSPECTIVES

Tim Sidebottom Architect.
 39 Fergusson Avenue, Tunderbox, 7054
 Ph: 0409 183 342
 info@timsidebottom.com

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Project No: TP25-03
Project Name: Saltwater River Workers Cottage
Project Address: 803 Saltwater River Rd, 7188
Client:

Issue ID	Issue Name	Issue Date	Issue ID	Issue Name	Issue Date	Issue ID	Issue Name	Issue Date
A	CONCEPT DESIGN	29/04/2025	F	DESIGN DEVELOPMENT 9x9 CONCEPT	05/09/2025			
B	CONCEPT DESIGN	01/05/2025	G	DESIGN DEVELOPMENT 9x9 CONCEPT	12/09/2025			
C	CONCEPT DESIGN	09/05/2025	H	STRUCTURAL SECTION & ELEVATION REVS.	24/10/2025			
D	CONCEPT DESIGN	20/05/2025	I	DEVELOPMENT APPLICATION	21/11/2025			
E	CONCEPT DESIGN	14/06/2025	J	SITE PLAN & INTERNAL ELEVATIONS	10/01/2025			

Scale: As Shown @ A3	Drawing No.: SK8.102	Revision: J
Date: 15/1/2026		
Drawn By: TS		
Status: Design Development		



PERSPECTIVES

Tim Sidebottom Architect.
 39 Fergusson Avenue,
 Tinderbox, 7054
 Ph: 0409 183 342
 info@timsidebottom.com

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Project No:
 TP25-03
Project Name:
 Saltwater River Workers Cottage
Project Address:
 803 Saltwater River Rd, 7186
Client:

Issue ID	Issue Name	Issue Date	Issue ID	Issue Name	Issue Date	Issue ID	Issue Name	Issue Date
A	CONCEPT DESIGN	29/04/2025	F	DESIGN DEVELOPMENT 9x9 CONCEPT	05/09/2025			
B	CONCEPT DESIGN	01/05/2025	G	DESIGN DEVELOPMENT 9x9 CONCEPT	12/09/2025			
C	CONCEPT DESIGN	09/05/2025	H	STRUCTURAL SECTION & ELEVATION REVS.	24/10/2025			
D	CONCEPT DESIGN	20/05/2025	I	DEVELOPMENT APPLICATION	21/11/2025			
E	CONCEPT DESIGN	14/06/2025	J	SITE PLAN & INTERNAL ELEVATIONS	10/01/2025			

Scale: As Shown @ A3	Drawing No.: SK8.103	Revision: J
Date: 15/1/2026		
Drawn By: TS		
Status: Design Development		



PERSPECTIVES

Tim Sidebottom Architect.
 39 Fergusson Avenue, Tunderbox, 7054
 Ph: 0409 183 342
 info@timsidebottom.com

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Project No: TP25-03
Project Name: Saltwater River Workers Cottage
Project Address: 803 Saltwater River Rd, 7186
Client:

Issue ID	Issue Name	Issue Date	Issue ID	Issue Name	Issue Date	Issue ID	Issue Name	Issue Date
A	CONCEPT DESIGN	29/04/2025	F	DESIGN DEVELOPMENT 9x9 CONCEPT	05/09/2025			
B	CONCEPT DESIGN	01/05/2025	G	DESIGN DEVELOPMENT 9x9 CONCEPT	12/09/2025			
C	CONCEPT DESIGN	09/05/2025	H	STRUCTURAL SECTION & ELEVATION REVS.	24/10/2025			
D	CONCEPT DESIGN	20/05/2025	I	DEVELOPMENT APPLICATION	21/11/2025			
E	CONCEPT DESIGN	14/06/2025	J	SITE PLAN & INTERNAL ELEVATIONS	10/01/2025			

Scale: As Shown @ A3	Drawing No.: SK8.104	Revision: J
Date: 15/1/2026		
Drawn By: TS		
Status: Design Development		



OPTION 03 - WORKER'S COTTAGE WITH STORAGE WALL / CARPORT

PERSPECTIVES

Tim Sidebottom Architect. <small>39 Fergusson Avenue, Tunderbox, 7054 Ph: 0409 183 342 info@timsidebottom.com</small>	<small>Drawings to be read in conjunction with specification by architect and all drawings and documents by engineers and sub consultants referred to in these plans. Contractors are to verify all dimensions on site before commencing any work or producing shop drawings. Larger scale drawings and written dimensions take preference. Do not scale from drawings. These drawings are protected by the laws of copyright and may not be copied or reproduced without the written permission of the architect. All discrepancies are to be brought to the attention of the architect.</small>	Project No: TP25-03	Project Name Saltwater River Workers Cottage Project Address 803 Saltwater River Rd, 7188 Client	Issue ID	Issue Name	Issue Date	Issue ID	Issue Name	Issue Date	Issue ID	Issue Name	Issue Date
				A	CONCEPT DESIGN	29/04/2025	F	DESIGN DEVELOPMENT 9x9 CONCEPT	05/09/2025			
				B	CONCEPT DESIGN	01/05/2025	G	DESIGN DEVELOPMENT 9x9 CONCEPT	12/09/2025			
				C	CONCEPT DESIGN	09/05/2025	H	STRUCTURAL SECTION & ELEVATION REVS.	24/10/2025			
				D	CONCEPT DESIGN	20/05/2025	I	DEVELOPMENT APPLICATION	21/11/2025			
				E	CONCEPT DESIGN	14/06/2025	J	SITE PLAN & INTERNAL ELEVATIONS	10/01/2025			

Scale: As Shown @ A3	Drawing No.: SK8.107	Revision: J
Date: 15/1/2026		
Drawn By: TS		
Status: Design Development		

**Tim
Sidebottom
Architect.**

21.11.2025
Ph. 0409 183 342

Attn: Laura Small,
Planning Officer
Tasman Council

Dear Laura,

Re: Development Application, 803 Saltwater River Rd, Saltwater River, Worker Accommodation

Please find below responses to the planning scheme for a proposed workers cottage in an Agriculture Zone.

Zone: 21.0 Agriculture Zone

The purpose of the agriculture Zone is:

21.1.1 To provide for the use or development of land for agricultural use.

21.1.2 To protect land for the use or development of agricultural use by minimising:

- a) conflict with or interference from non-agricultural uses;
- b) non-agricultural use or development that precludes the return of the land to agricultural use;

and

- c) use of land for non-agricultural use in irrigation districts.

21.1.3 To provide for use or development that supports the use of the land for agricultural use.

21.2 Use Table notes that **No Planning is Required** where the proposed use is for Resource Development, If:

(a) on land other than prime agricultural land; or

(b) an agricultural use, excluding plantation forestry, on prime agricultural land if it is dependent on the soil as the growth medium or conducted in a manner which does not alter, disturb or damage the existing soil profile or preclude it from future use as a growth medium.

In the case of the proposed worker's cottage at 803 Saltwater River Rd, the proposed use of the prefabricated, demountable / relocatable building is for Resource Development as Ian Kenny of OC Vineyard is establishing a high quality vineyard on the property relying on the soil as the growth medium and required on-site accommodation for workers to tend the vines and attend to the various duties associated with running a quality vineyard.

The design for the proposed workers' cottage is of a pre-fabricated nature and will not require cut and fill of the site where the cottage is located. In turn, the workers' cottage will be able to be dismantled and moved to an alternative site as an when needed in the future.

With a distinct lack of alternative accommodation options locally for workers, the proposed workers cottage will also provide added support for the local economy through employment of local workers.

Bushfire-Prone Areas Code:

C13.0

C13.4 Use or Development Exempt from this Code

C13.4.1 The following use or development is exempt from this code:

(a) any use or development that the TFS or an accredited person, having regard to the objective of all applicable standards in this code, certifies there is an insufficient increase in risk to the use or development from bushfire to warrant any specific bushfire protection measures;

Please refer to the Bushfire Exemption Letter regarding the proposed works prepared by Josh Mayne of Futura Planning.

Given its Use Class as supporting Resource Development in the region and its relocatable, minimal impact design, it is proposed that the Council view the proposed workers cottage as No Permit Required.

Please also find attached the following documents and reports in support of this application:

- 803 Saltwater River Road, Saltwater River Geo-Environmental Report Collated
- Alex Van Driel - Letter of Support
- FolioPlan-132671-3
- FolioText-132671-3
- Form 55- 803 Saltwater River Road
- ScheduleOfEasements-132671-3
- Architectural Drawings

Thankyou very much and if there are any questions at all, please do not hesitate to contact me at the earliest opportunity.

Kind Regards,



Tim Sidebottom.